

MATERIAL LEGEND

AL-01	Aluminium louver roof – crown	GL-01	Glazed curtain wall – tower office
AL-02	Aluminium louver façade – crown	GL-02	Glazed curtain wall – bridge
CN-01	Fair faced concrete – loading dock, core and columns	GL-03	Glazed frameless rain screen – plaza levels
CF-01	Ceramic façade – core	GL-04	Glazed frameless façade – plaza/ curved façade with exposed steel structure
CF-02	Ceramic façade – tower core/ glazed openings	GL-05	Glazed frameless façade – plaza/ curved façade with operable glazing
CF-03	Ceramic façade – tower core/ crown	GL-06	Glazed frameless façade – plaza/ curved façade with timber fins
CF-04	Ceramic façade/ cast aluminium – podium core/ L01	PV-01	Photovoltaic panels – roof
		RF-01	Canopy – plaza/ lightweight structure with low-iron glass panels
		SC-01	Fins – plaza/ expanded metal
		WD-01	Timber – tower soffit

ROOF	RL 178.050
LEVEL 35 (COOLING TOWER)	RL 160.350
LEVEL 34 (PLANT)	RL 154.950
LEVEL 33 (PLANT)	RL 149.550
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LEVEL 20 (HYD PRESS RW)	RL 100.800
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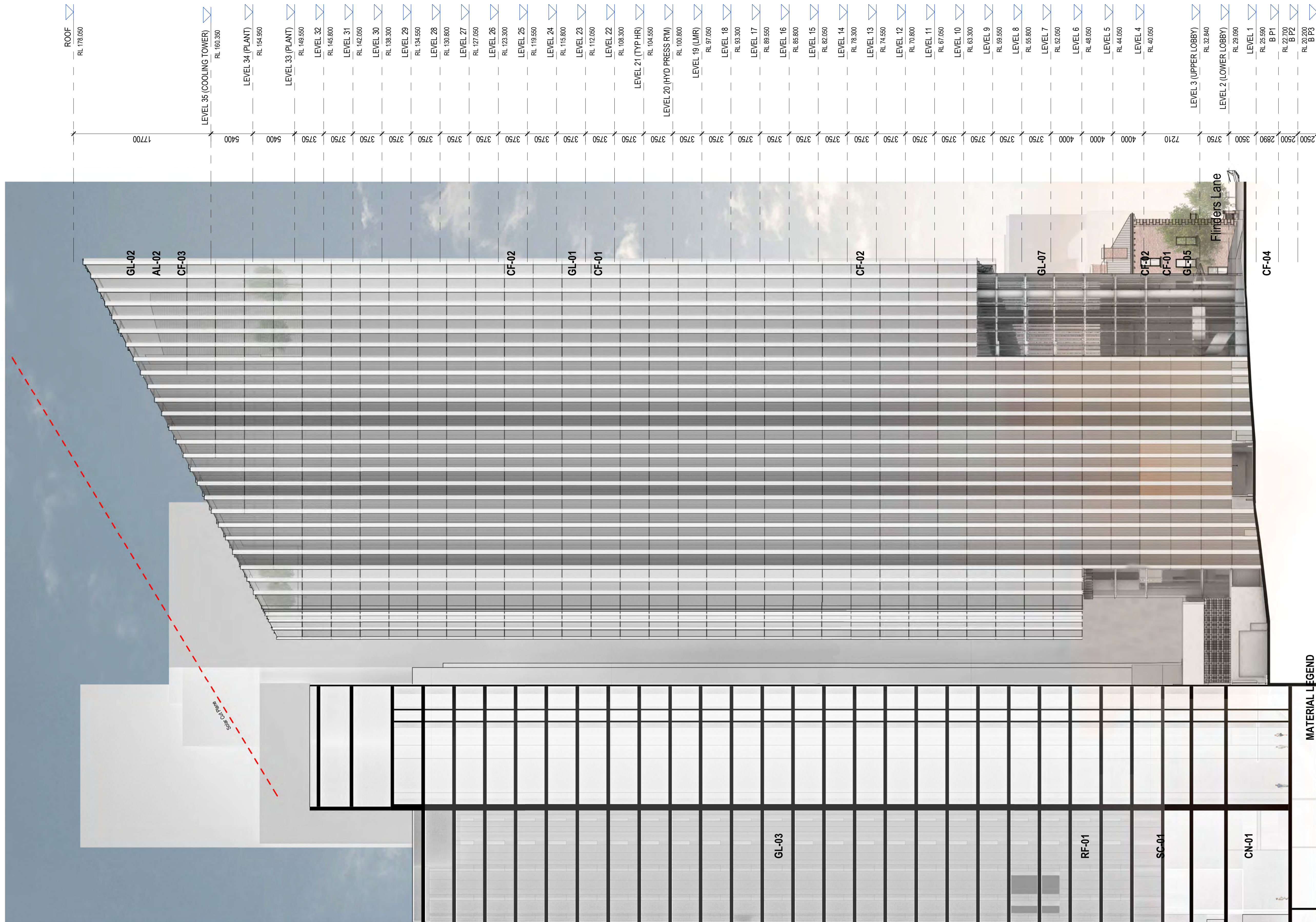
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Legend

- Commercial High Rise
- Commercial Low Rise
- Co-working Spaces
- Hospitality / Retail
- Lobby / End of Trip (EOT)
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- Threatre / Prefunction / Meetings Rms
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- External Terrace / Porphyry
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- Proposed Walls
- Existing Walls
- Site Subdivision & Fire Separation Line
- Proposed Demolition walls

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 checked I+A scale 1 : 250@A1
 drawn I+A project no 190244

project
 1 SPRING STREET, MELBOURNE
 drawing
 NORTH ELEVATION
 drawing no. DA2000 issue J
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- MATERIAL LEGEND**
- GL-01 Glazed curtain wall – tower office
 - GL-02 Glazed curtain wall – crown
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 - GL-05 Glazed frameless façade – plaza/ curved façade with exposed steel structure
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 - CF-04 Ceramic façade/ cast aluminium – podium core/ L01

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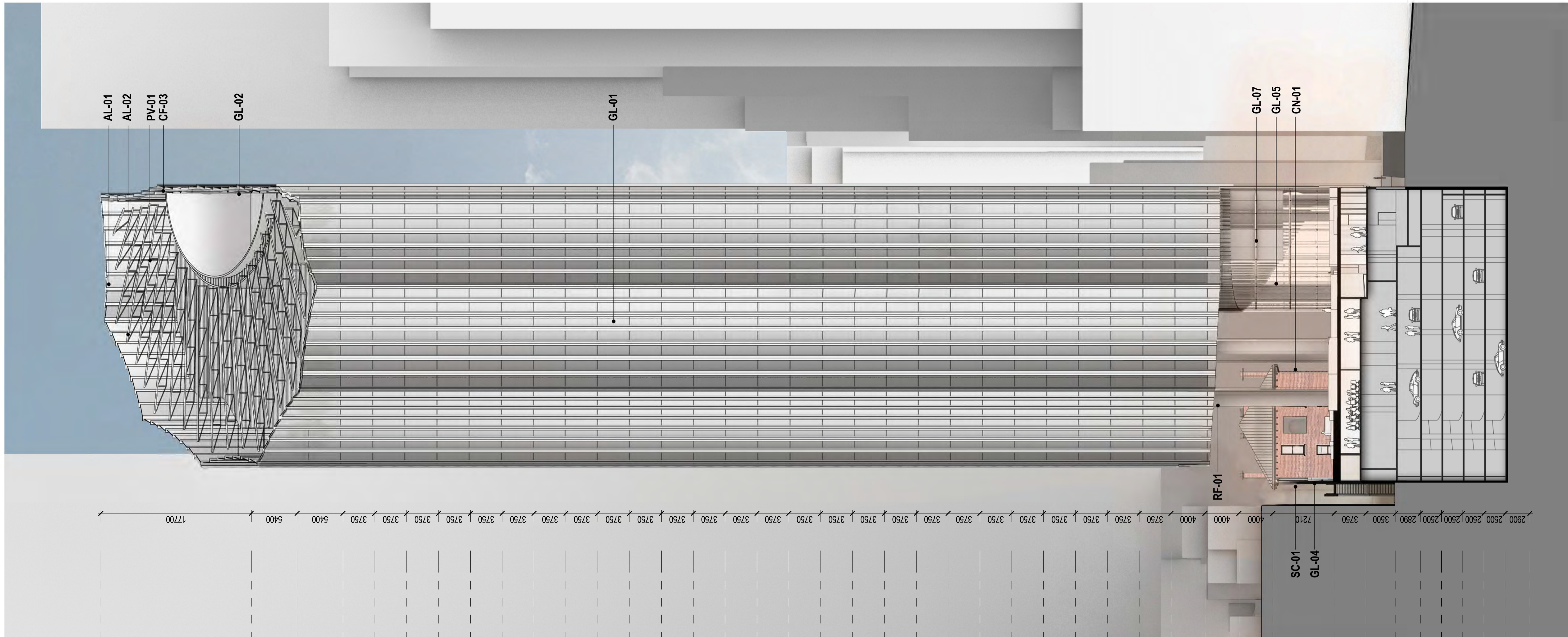
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drawing
 EAST ELEVATION

drawing no. DA2001 issue J

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LEVEL 35 (COOLING TOWER)		
	RL 160.350	
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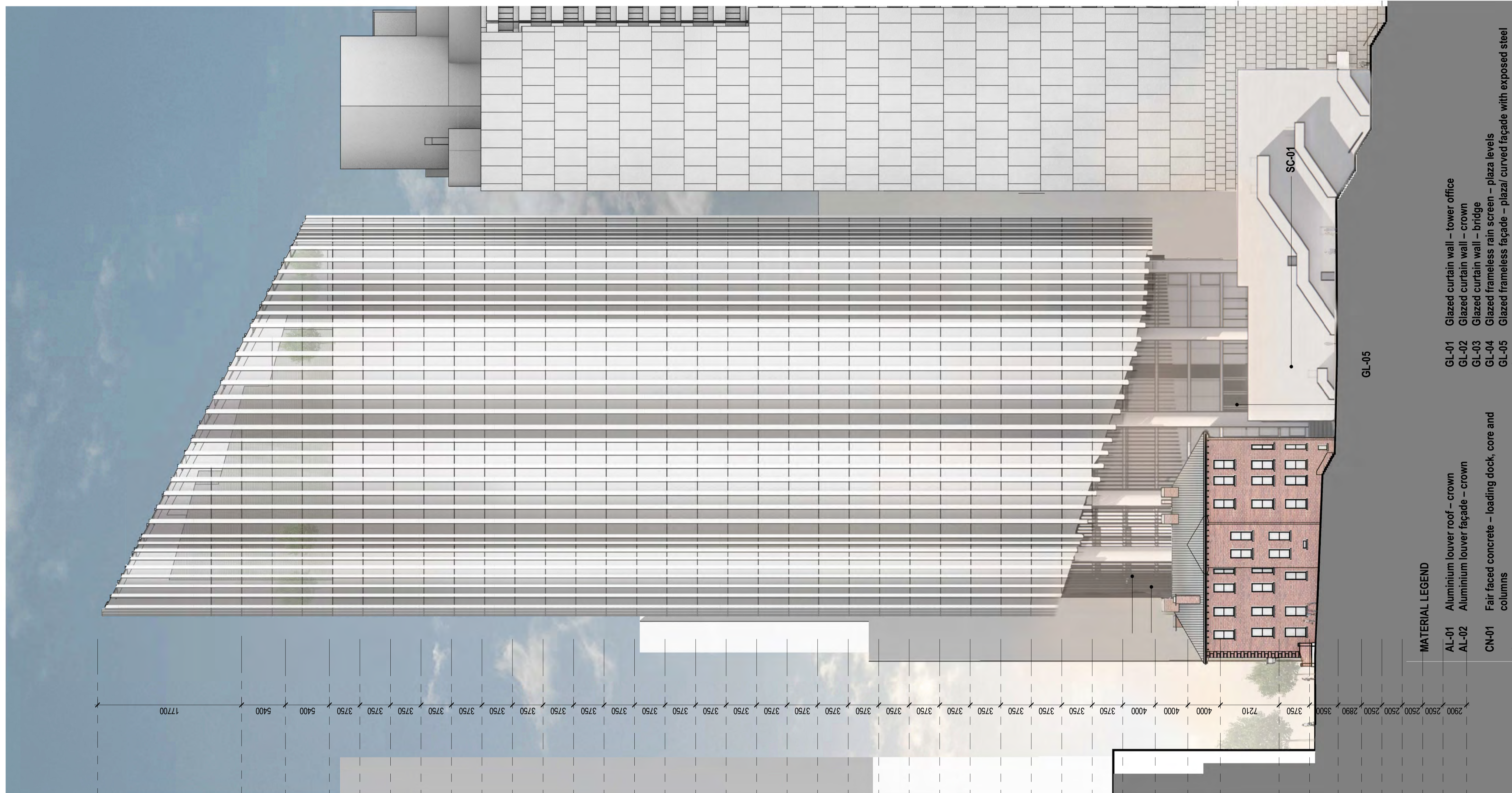
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project
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 drawing
 SOUTH ELEVATION
 drawing no. DA2002 issue J



ROOF	RL 178.050
LEVEL 35 (COOLING TOWER)	RL 160.350
LEVEL 34 (PLANT)	RL 154.950
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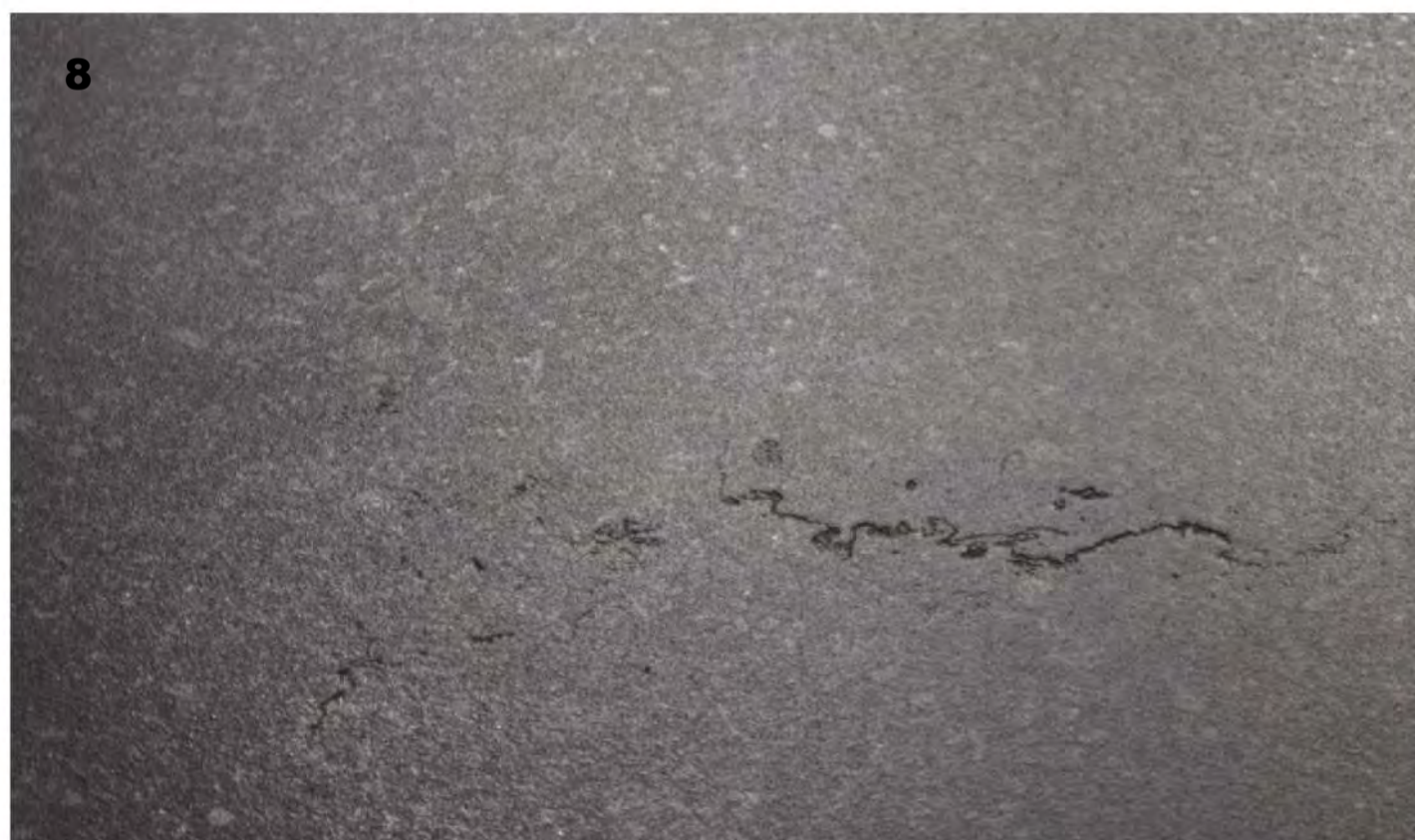
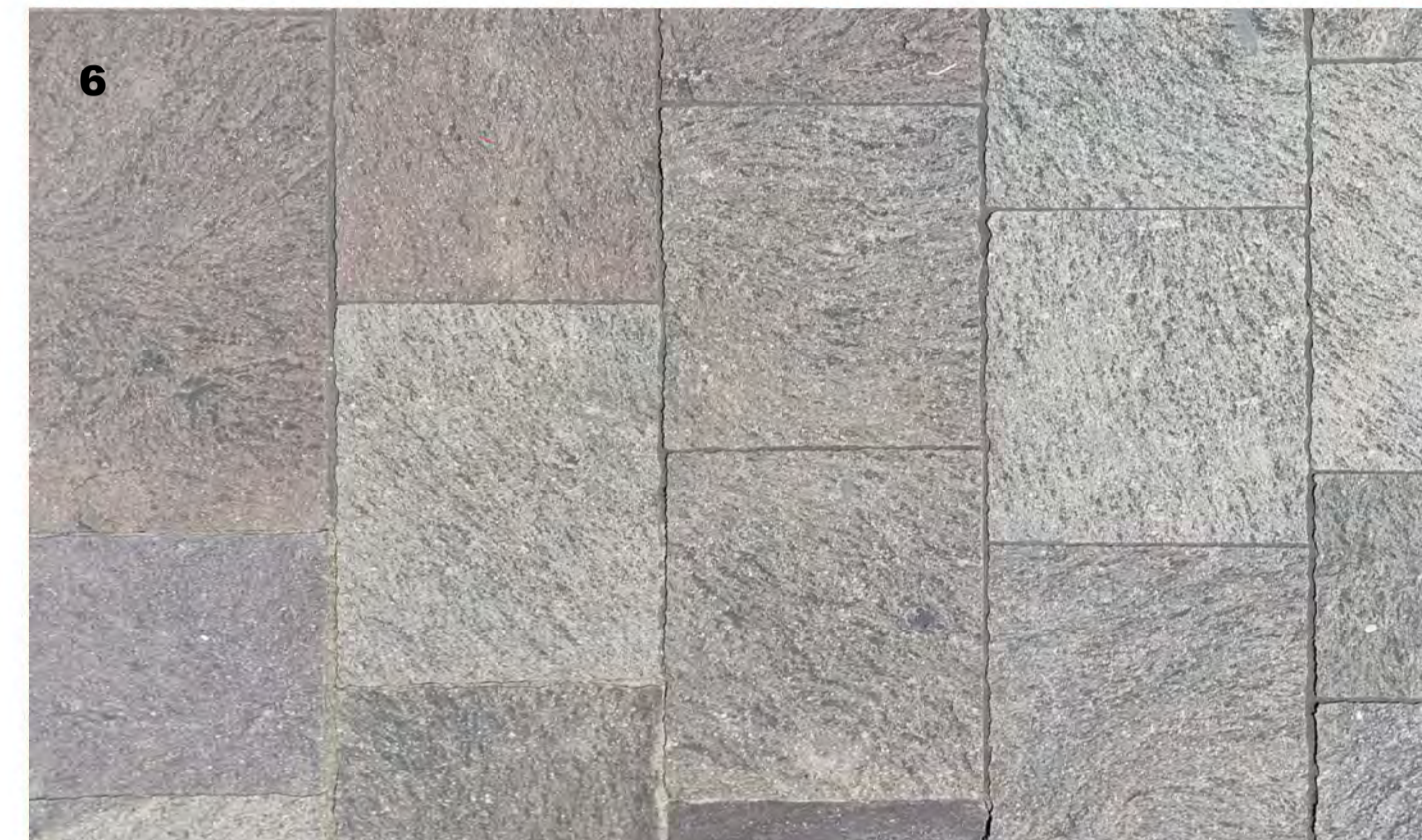
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project
1 SPRING STREET, MELBOURNE

drawing
WEST ELEVATION

drawing no.	DA2003	issue	J
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1 + 2 Ceramic

High performance architectural terracotta product
 Special profiled shape with internal steel reinforcement
 Pure white color with matte finish
 Reference product: www.nbkterracotta.com

3 Steelwork

Exposed architectural steelwork to AESS category 4
 Fabricated sections with integrated and concealed services
 Protective coating: Highly decorative coating.
 Color: Light Grey in matte finish

4 Textured plaster

Plaster to match existing finish of Tower 1
 meeting room walls

5 Fair faced concrete

High quality finish Concrete Class 2 (AS 3610)
 Consistent color and natural appearance
 Selected aggregates

6 Porphyry Paving

Natural split-faced porphyry with superior sawn edges

7 Timber

Australian hardwood in large formats
 Species: Tasmanian Oak
 Protective Sealer: Penetrating Oiled in Clear Matt finish

8 Bluestone Paving

Australian Bluestone
 150x600mm long ribbons laid random
 Texture: Rough sawn and/ or sandblasted
 Protective Sealer: WB Penetrating in Clear Matt finish

9 Marble

White marble stone in large three dimensional formats
 Consistent visual appearance with discreet veins

Notes

Tower Façade Performance Glazing – DGU or triple glazing
 (straight panels) in extra clear low-iron glass with a min. 60%
 light transmission and max. 16% outer reflection.

Podium Façade Performance Glazing – DGU or single
 (straight & curved panels) in extra clear low-iron glass.
 up to two storey high panels supported by metal cable net or
 stacked low-iron glass mullions.

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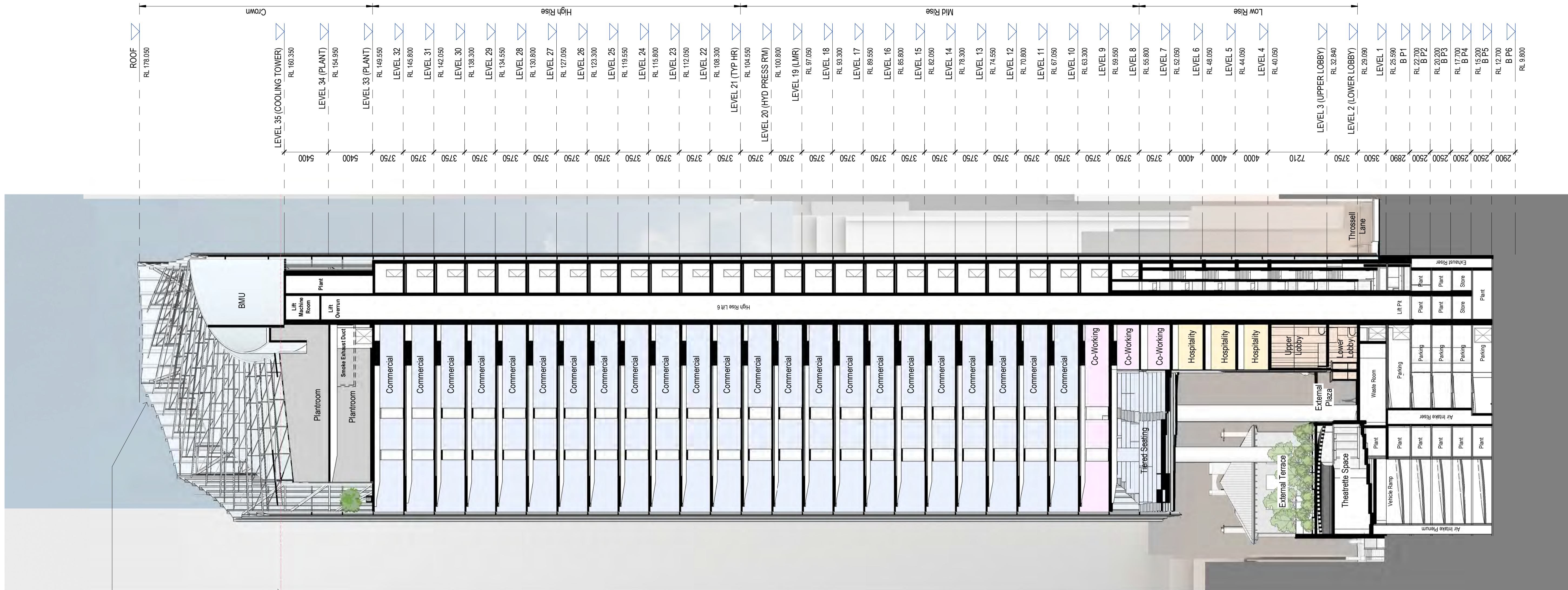
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project
 1 SPRING STREET, MELBOURNE

drawing
 MATERIAL FINISHES BOARD

drawing no. DA2004
 issue J



PV panels and structure shown indicatively. Design and setting out to be further developed and coordinated

Maximum height of building (160.80 m)

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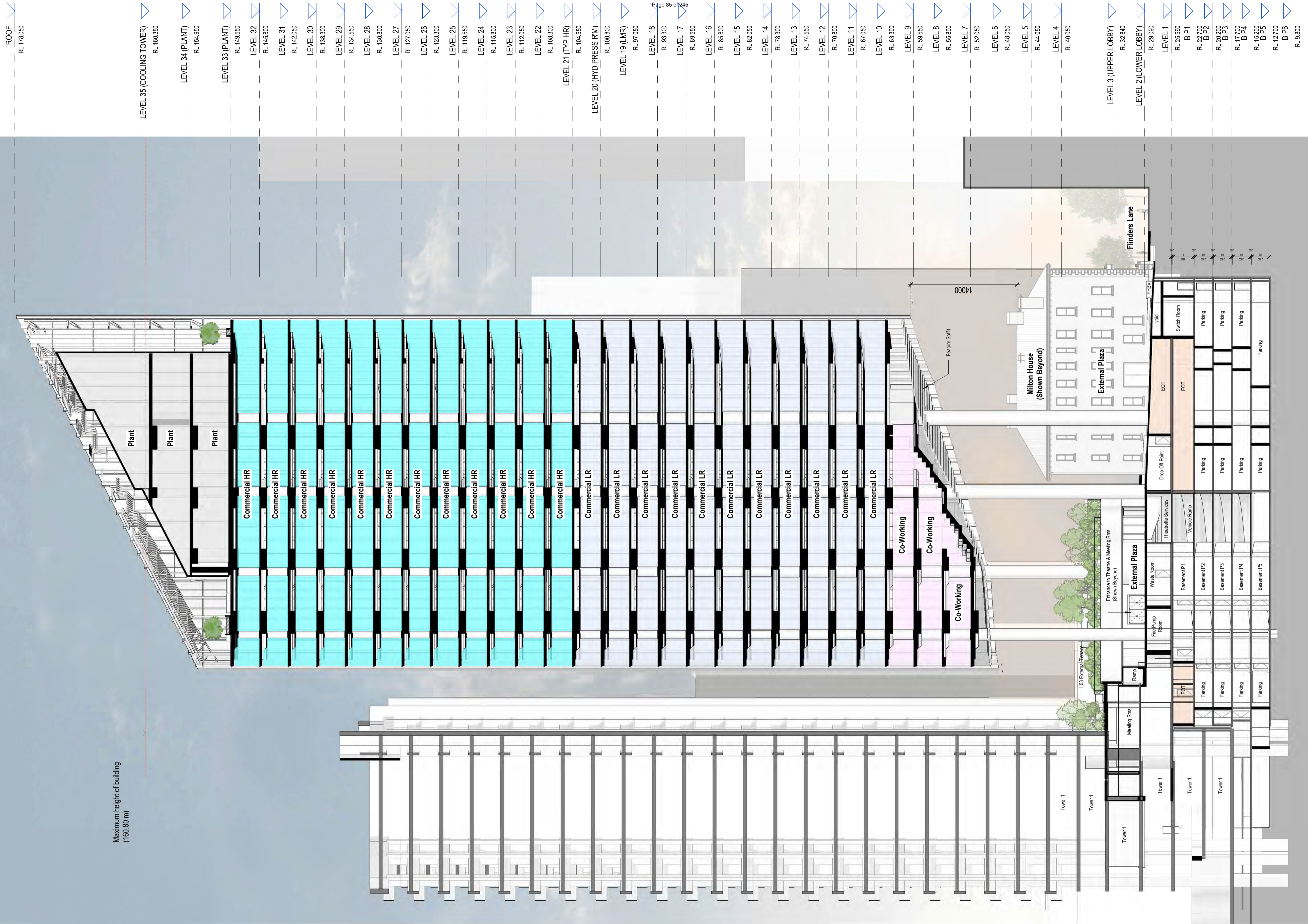
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project
1 SPRING STREET, MELBOURNE

drawing
SECTION 1 - EAST / WEST

drawing no. **DA2500** issue **J**

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- ROOF RL 178.050
- LEVEL 35 (COOLING TOWER) RL 160.350
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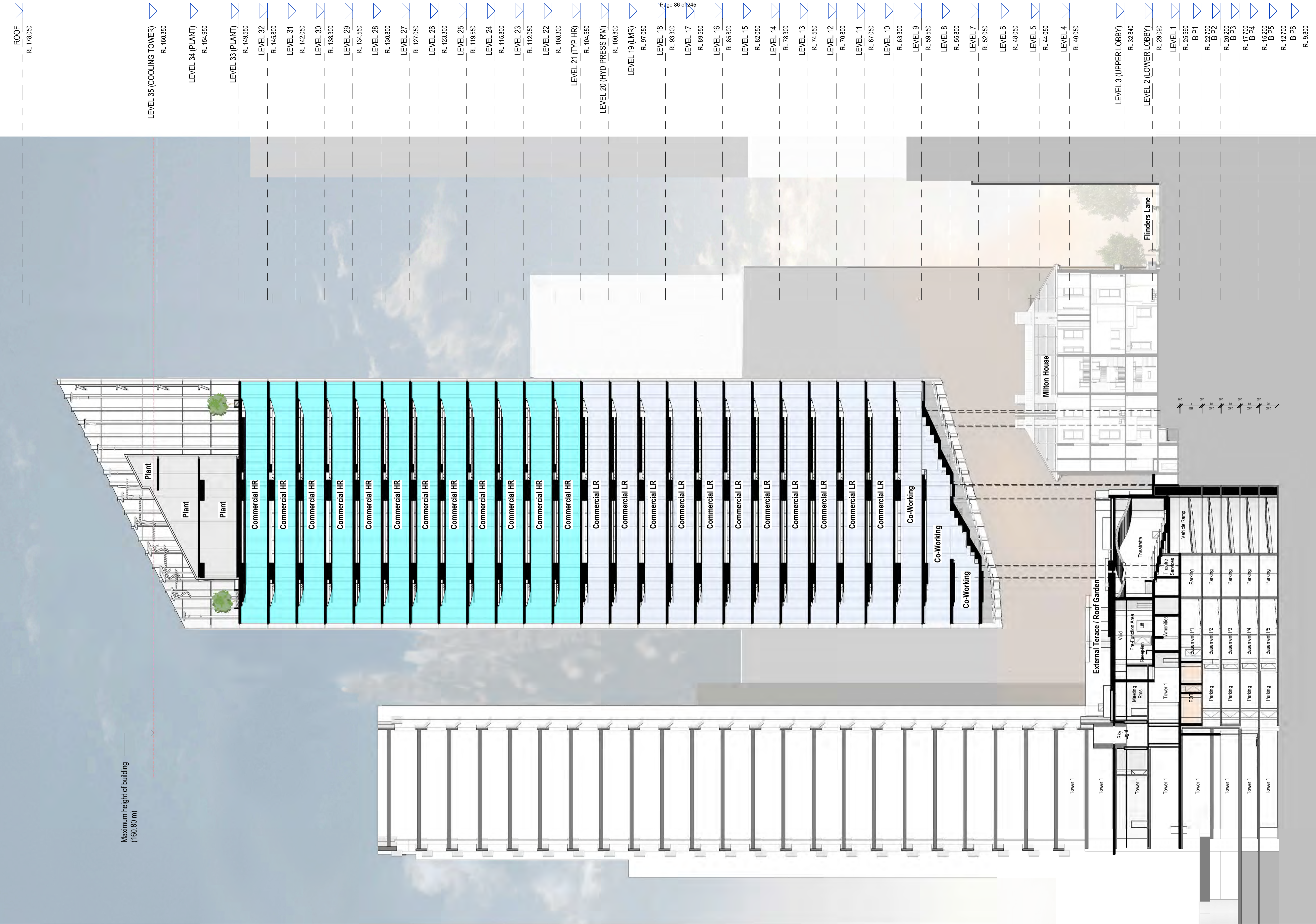
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project
 1 SPRING STREET, MELBOURNE

drawing
 SECTION 2 - NORTH SOUTH

drawing no.
DA2501

issue
J



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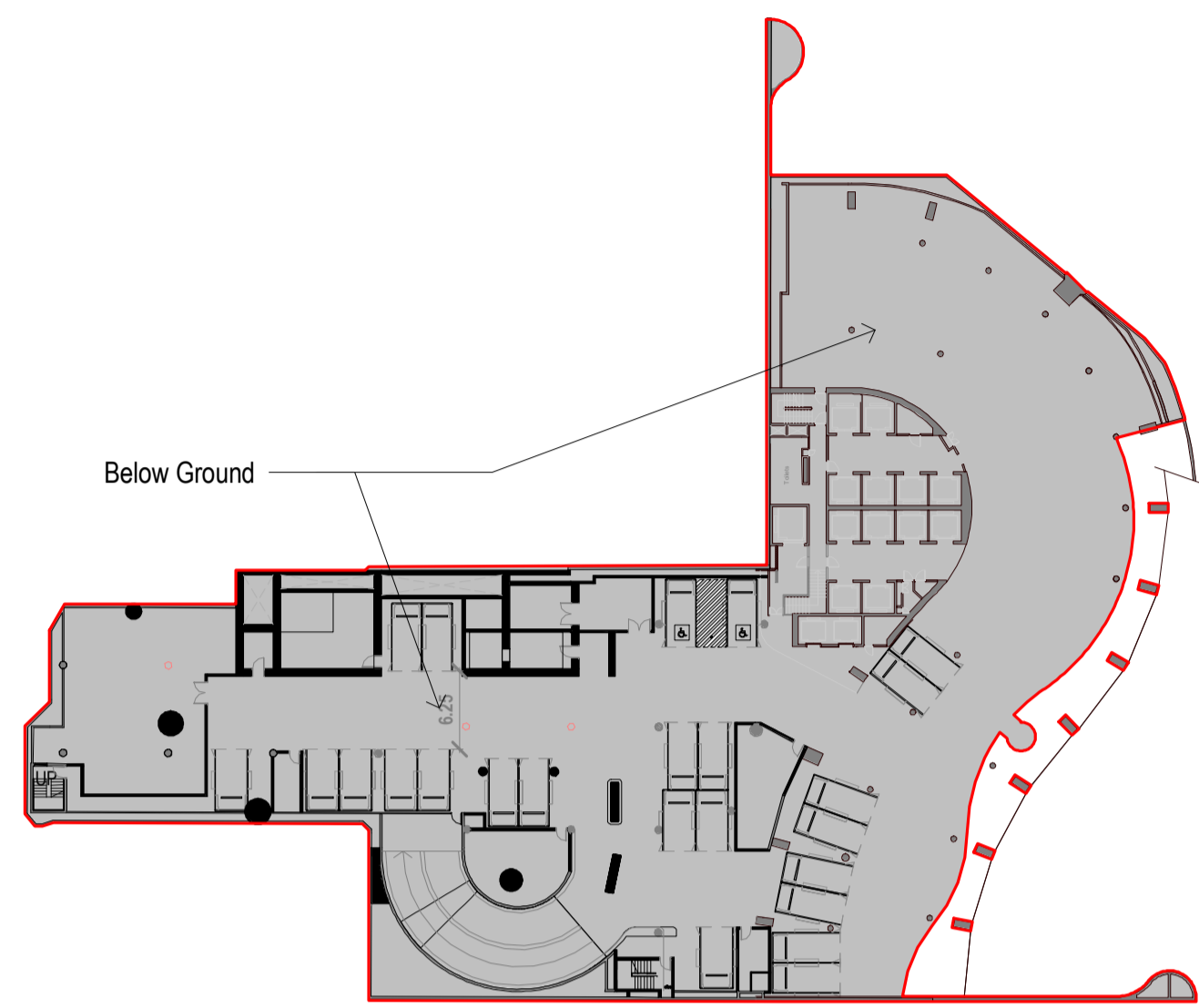
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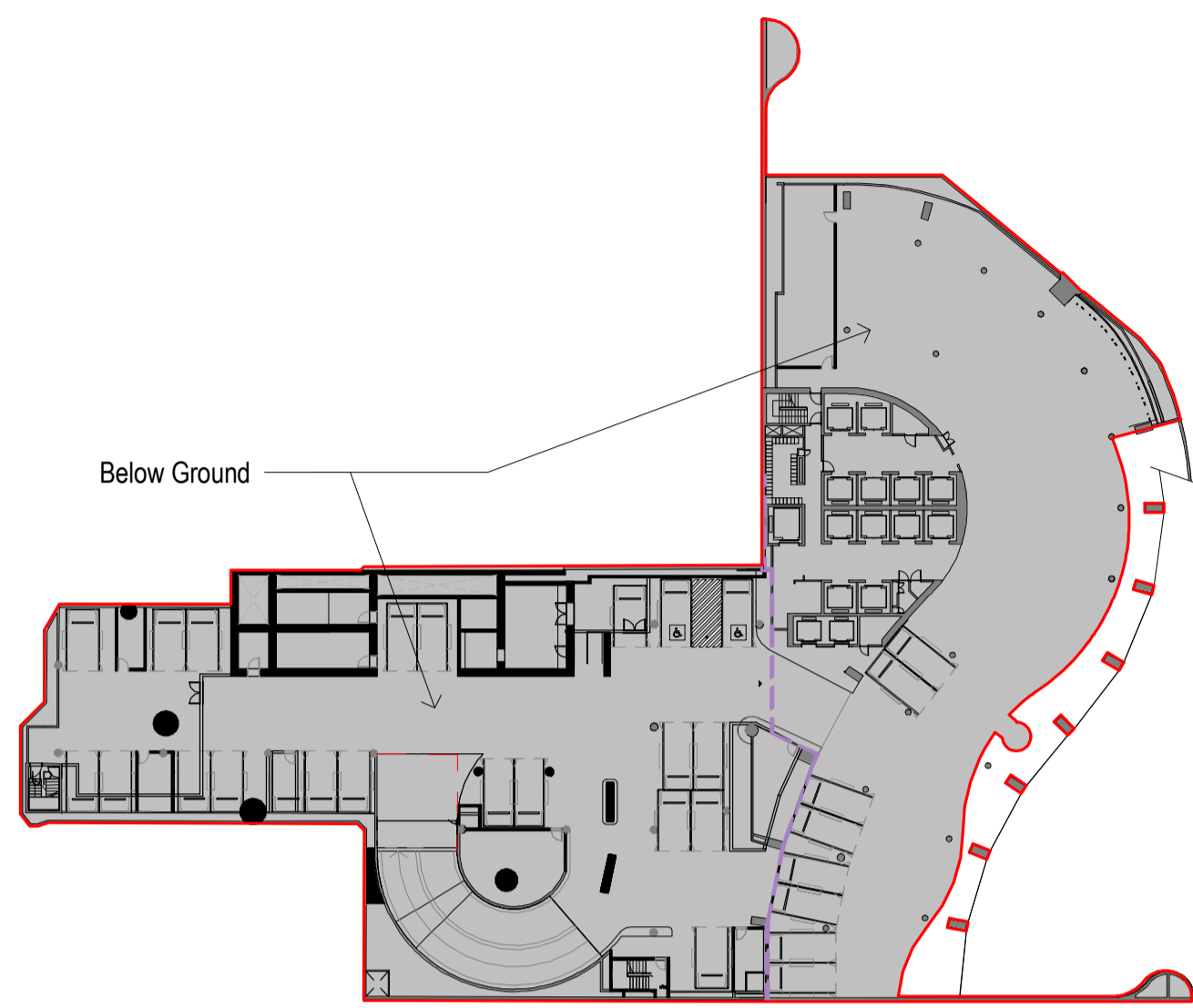
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 ABN 90 131 245 684

project 1 SPRING STREET, MELBOURNE
 drawing SECTION 3 - NORTH SOUTH (THOUGH MILTON HOUSE)
 drawing no. DA2502 issue J
 19/12/2022 12:55:26 PM

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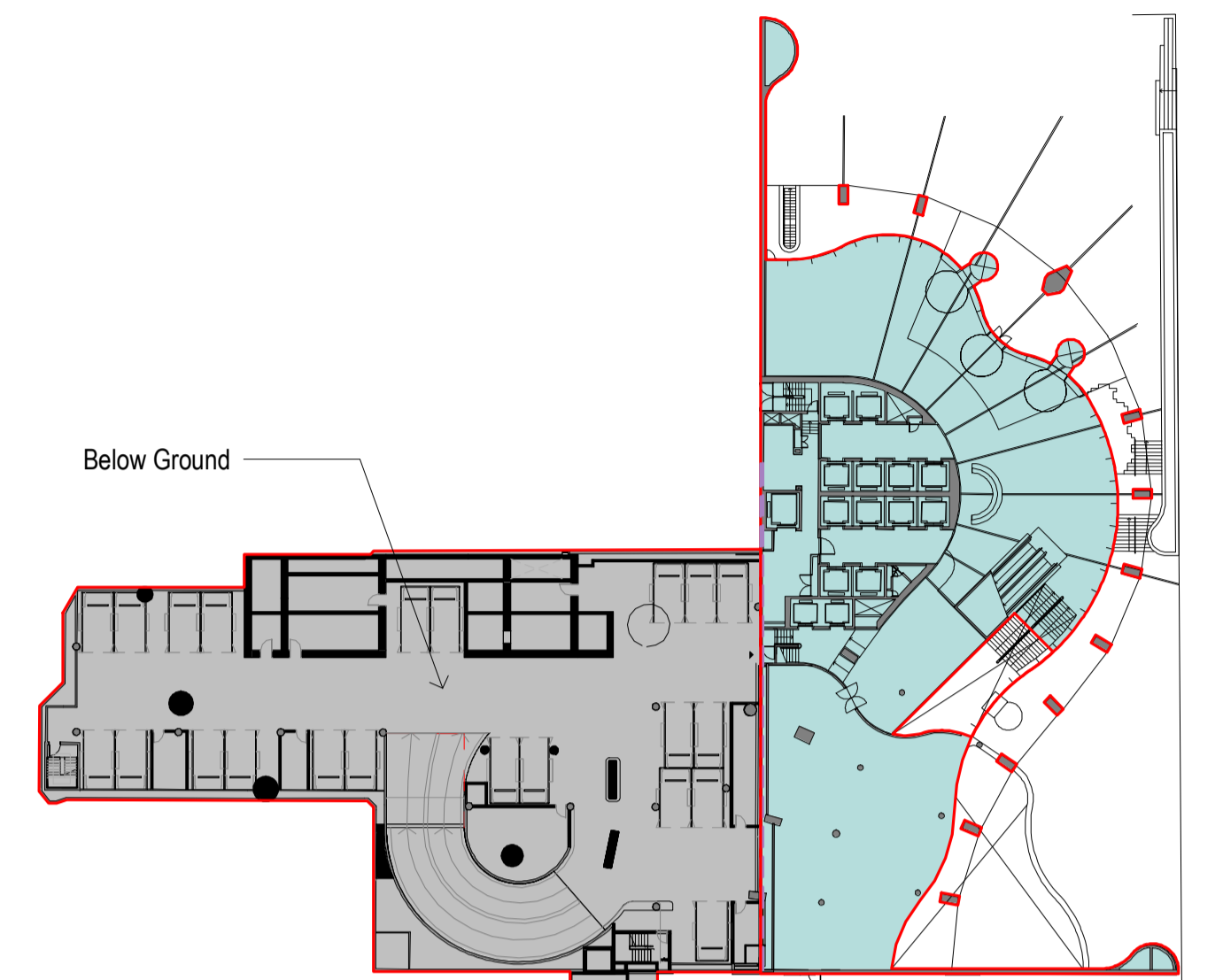
Basement P5
GFA N/A - Below Ground



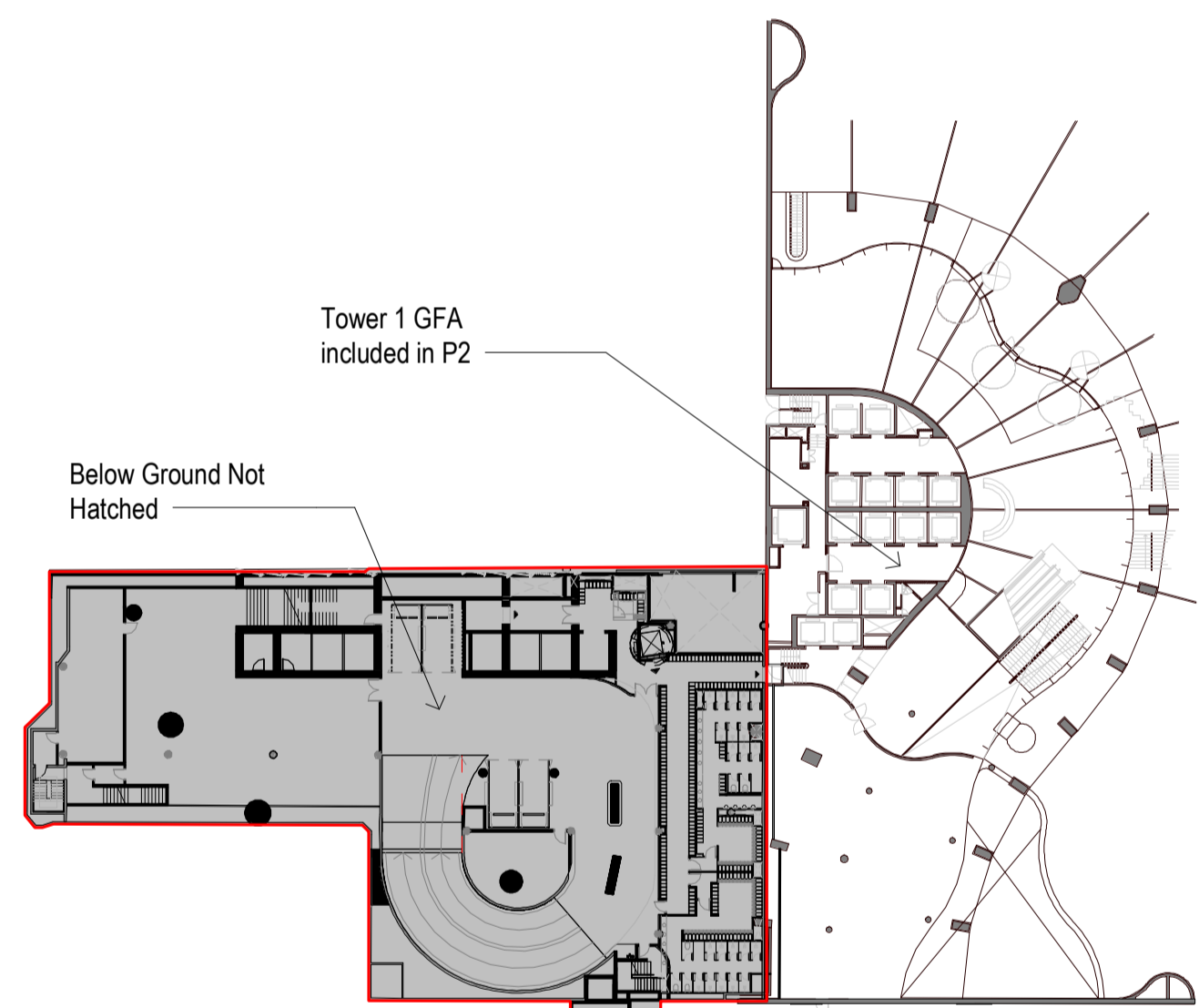
Basement P4
GFA N/A - Below Ground



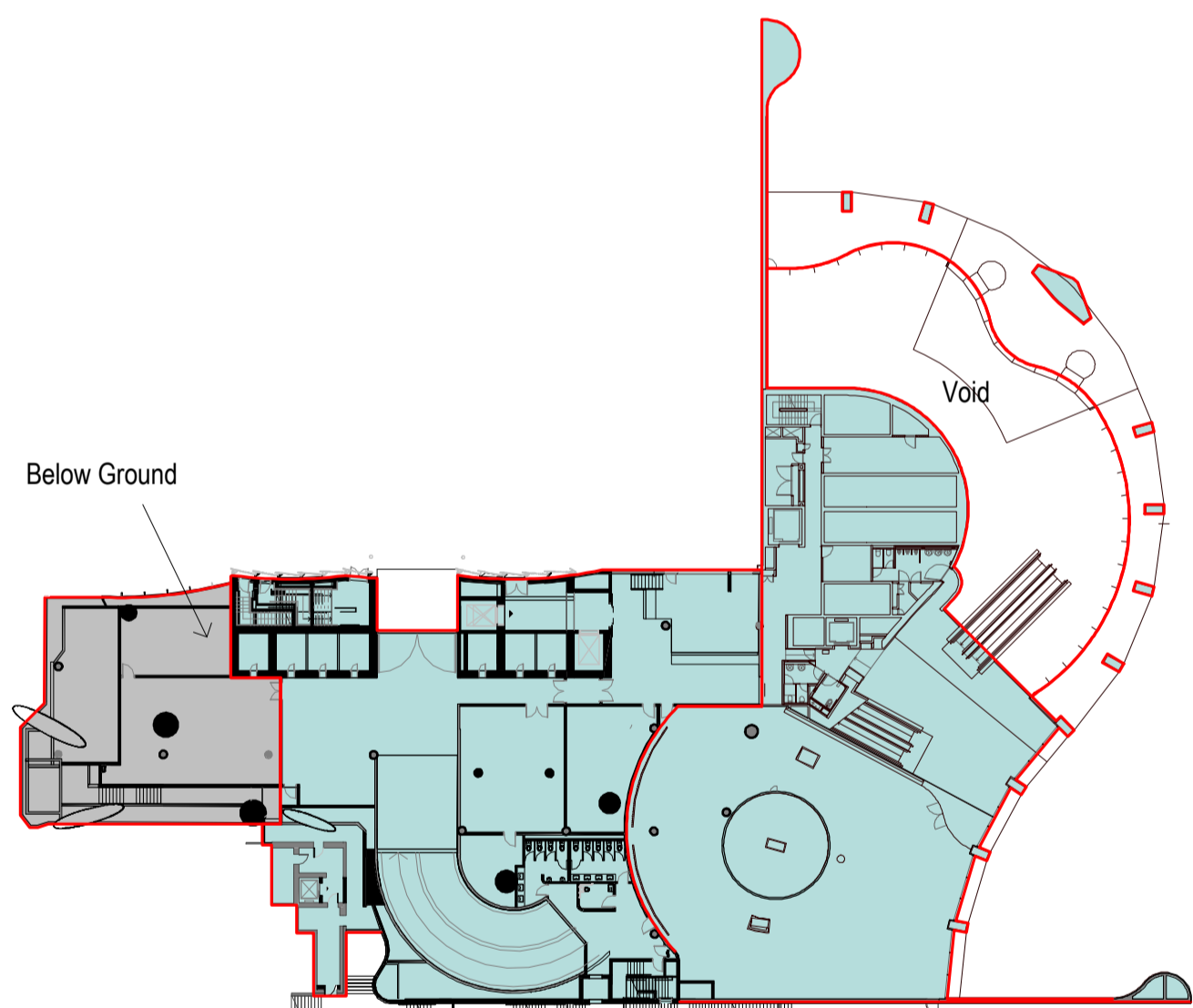
Basement P3 / Lower Lobby Podium
Tower 1 GFA 539 sqm



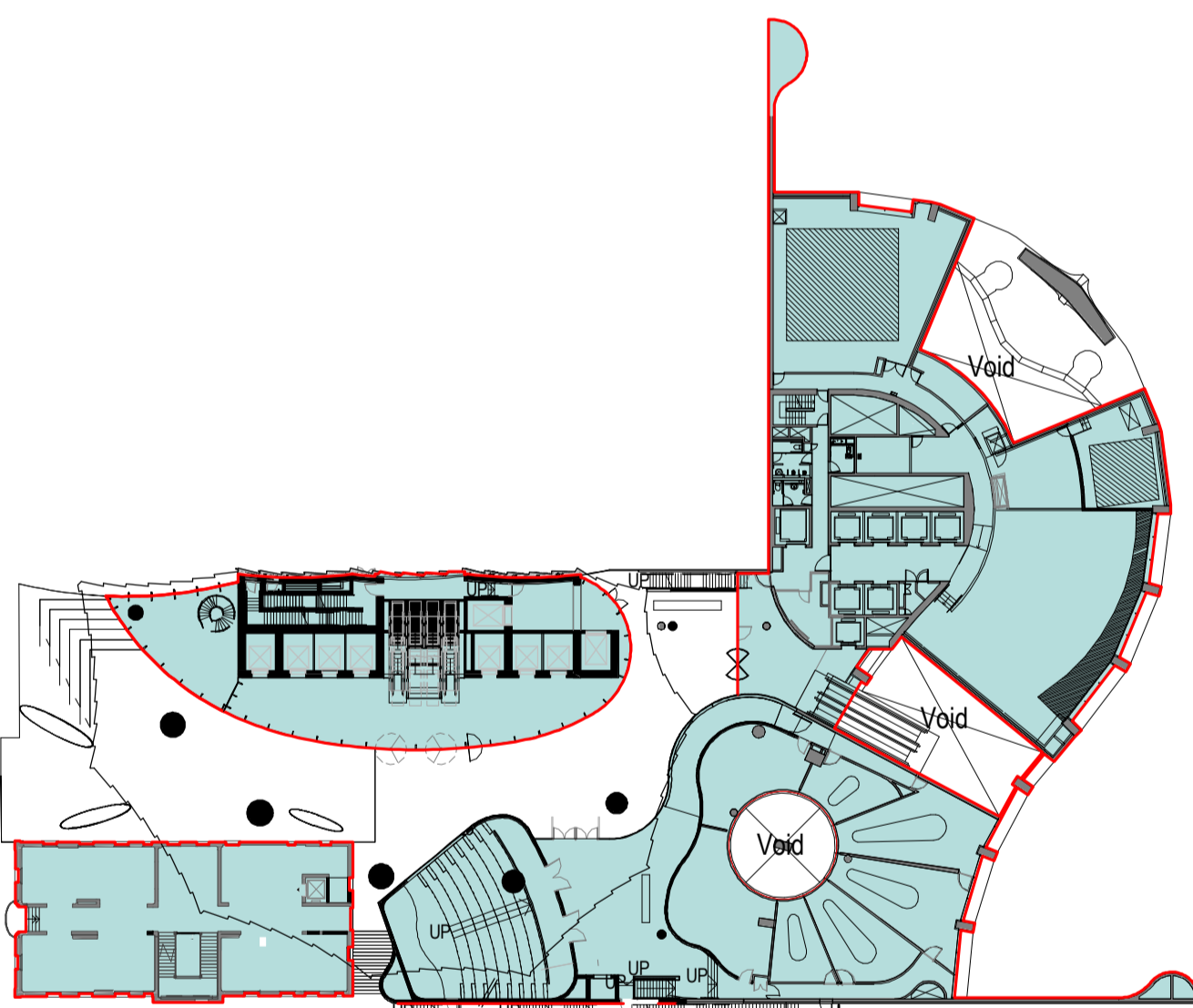
Basement P2 / Main Lobby Podium
Tower 1 GFA 1,267 sqm



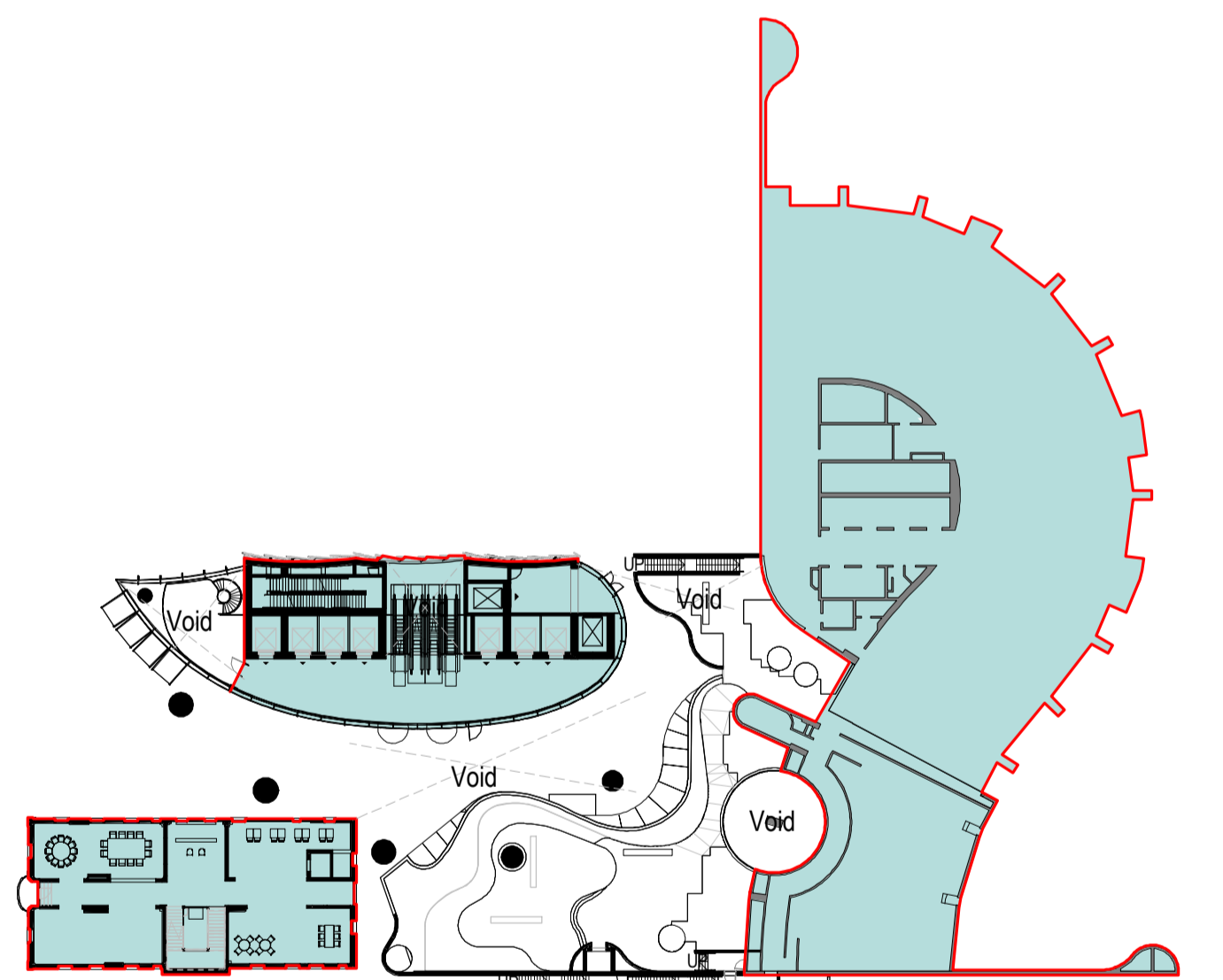
Basement P1
Tower 1 GFA N/A (Refer to P2)



Level 1
Tower 1 GFA 1,120 sqm
Tower 2 GFA 1,077 sqm



Level 2
Tower 1 GFA 1,762 sqm
Tower 2 GFA 450 sqm
Milton House GFA 328 sqm



Level 3
Tower 1 GFA 1,483 sqm
Tower 2 GFA 384 sqm
Milton House GFA 328 sqm

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Nominated Architect
Ray Brown, NSWARB 6359

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- Legend**
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 - Commercial Low Rise
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 - Plant / BOH Services
 - Theatre / Prefunction / Meetings Rms
 - Roof Terrace
 - External Terrace / Porphyry
 - Landscape area

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checked	I+A	scale	1 : 550@A1
drawn	I+A	project no	190244

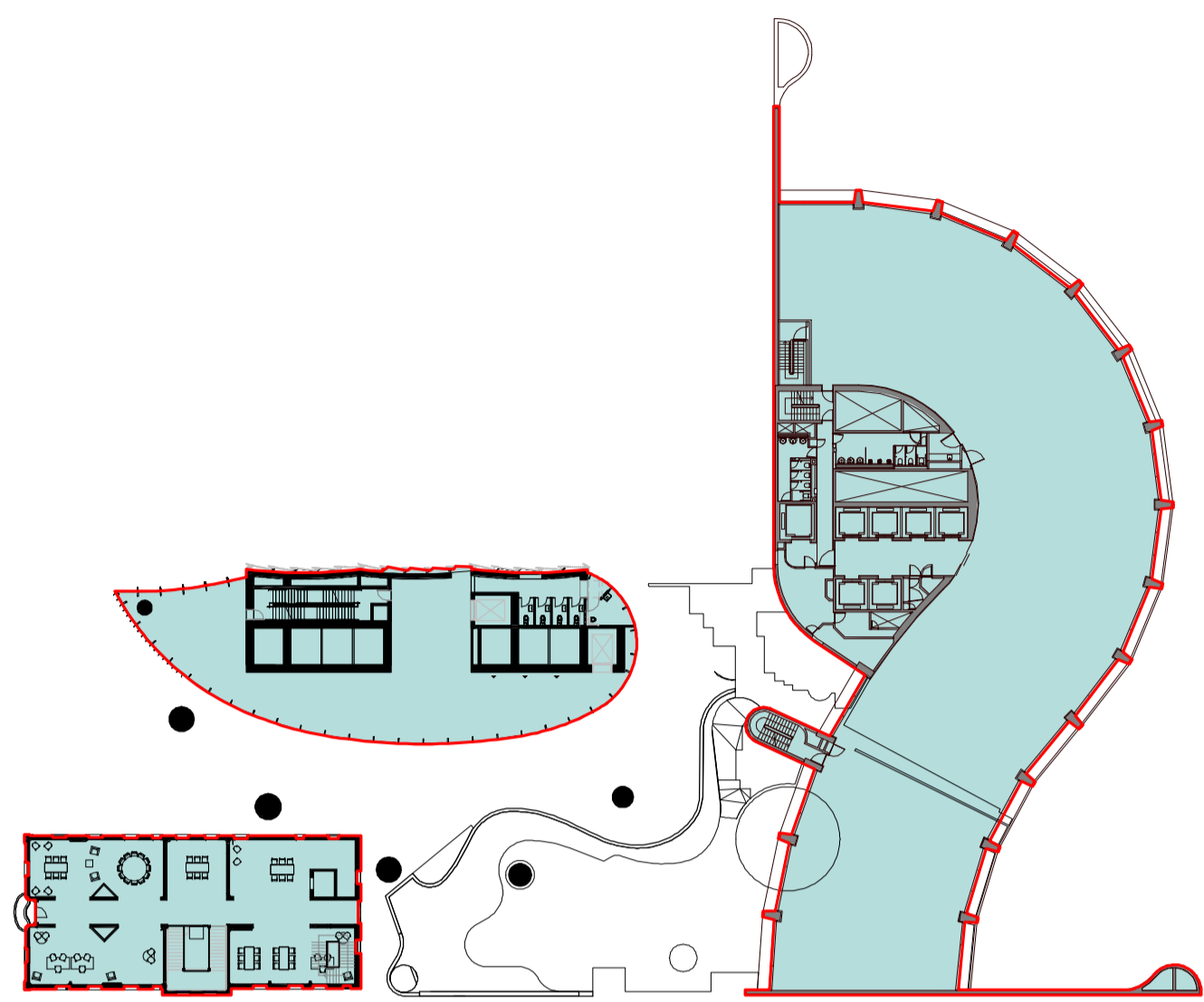
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project
1 SPRING STREET, MELBOURNE

drawing
GFA DIAGRAM 1

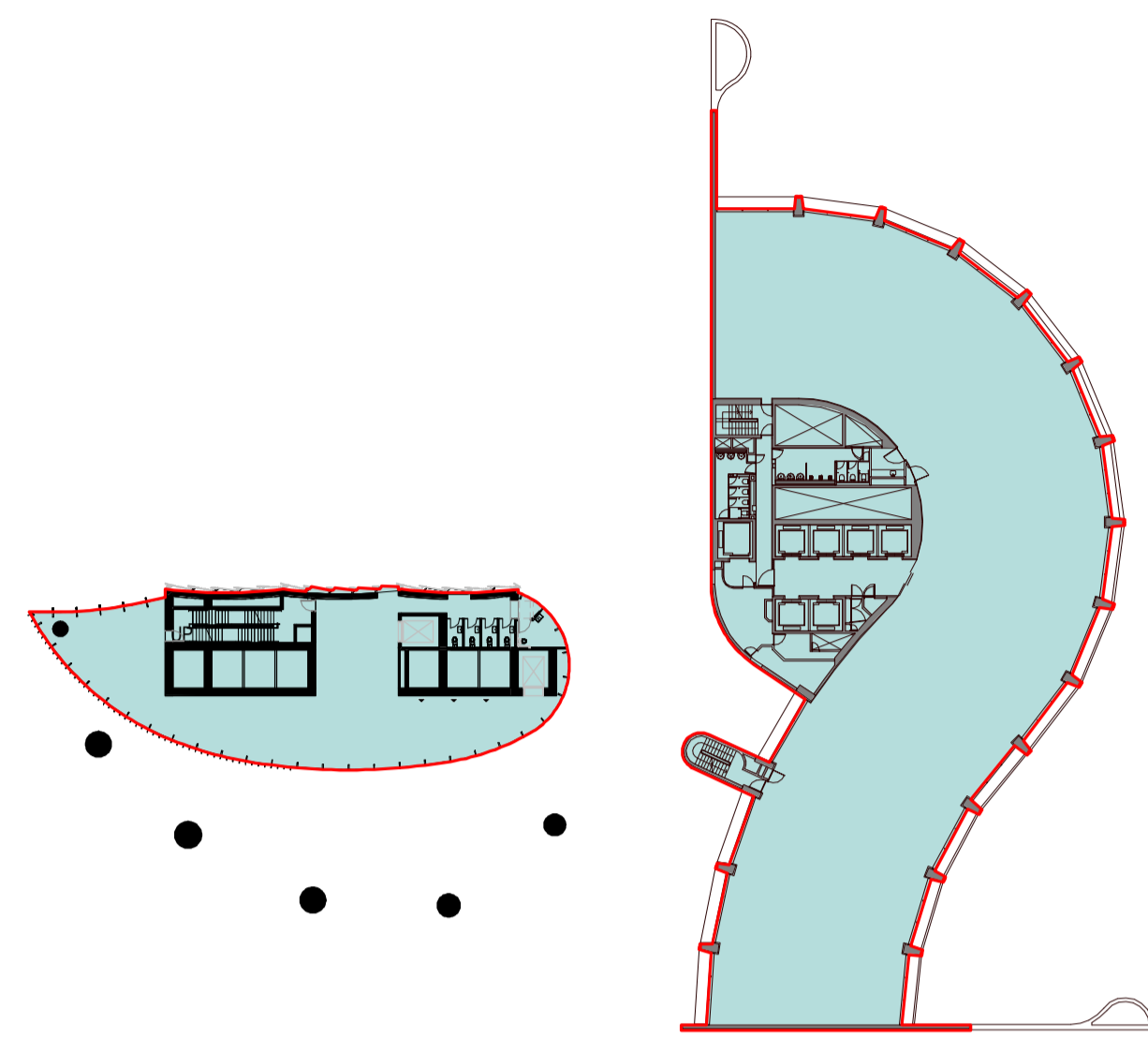
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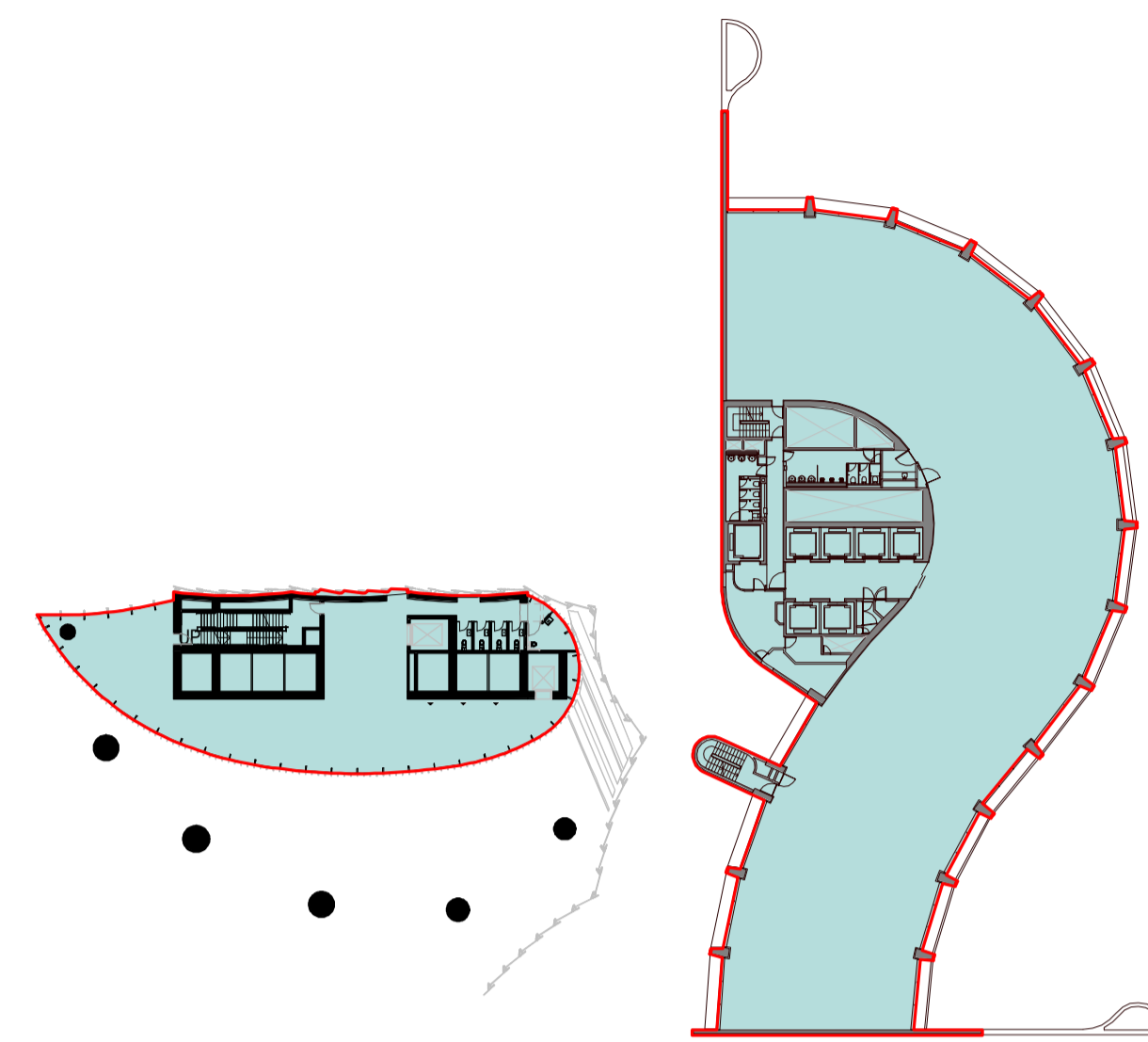
Tower 1 GFA 1,485 sqm
Tower 2 GFA 455 sqm
Milton House GFA 328 sqm

Level 4



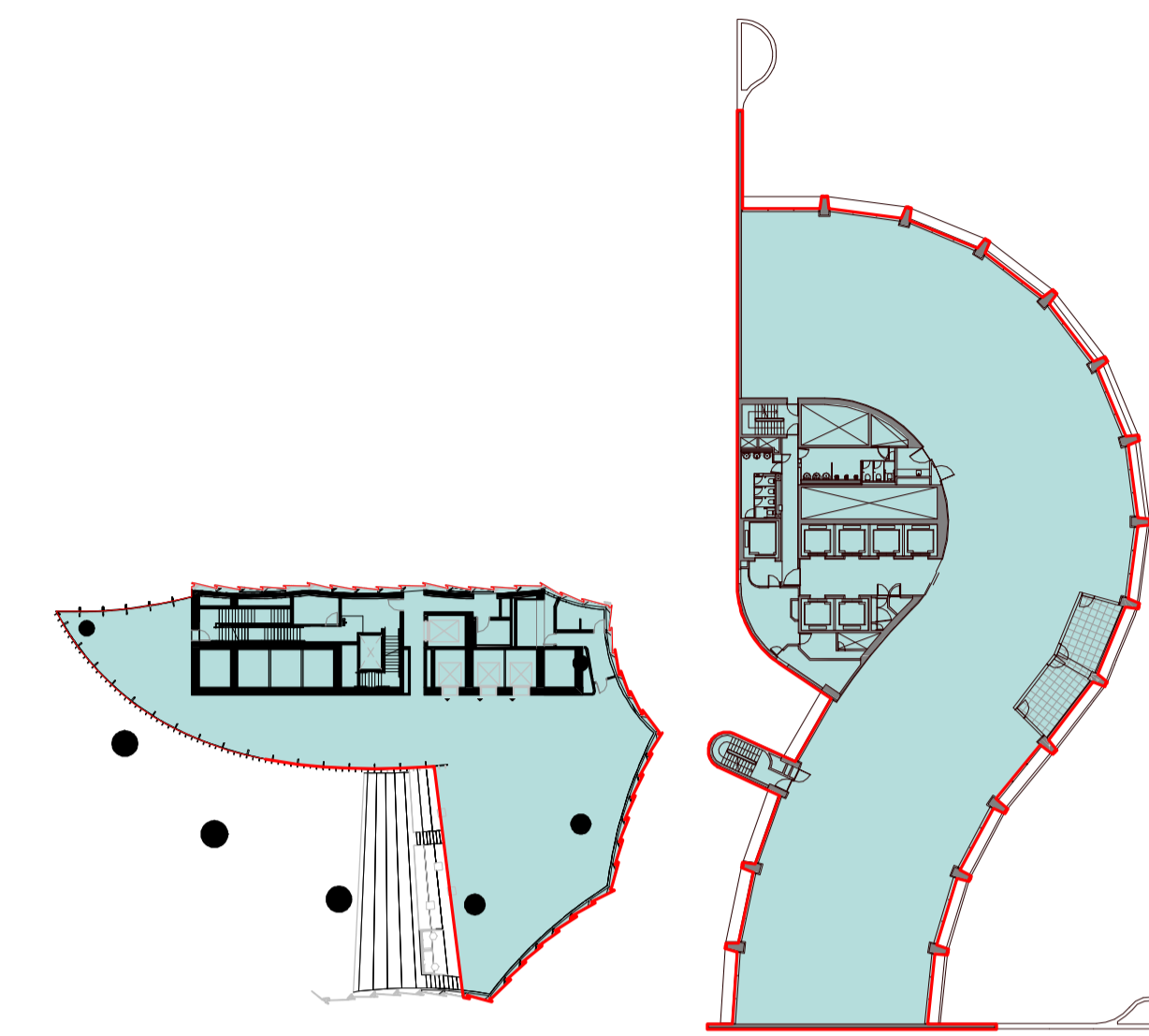
Tower 1 GFA 1,474 sqm
Tower 2 GFA 455 sqm

Level 5



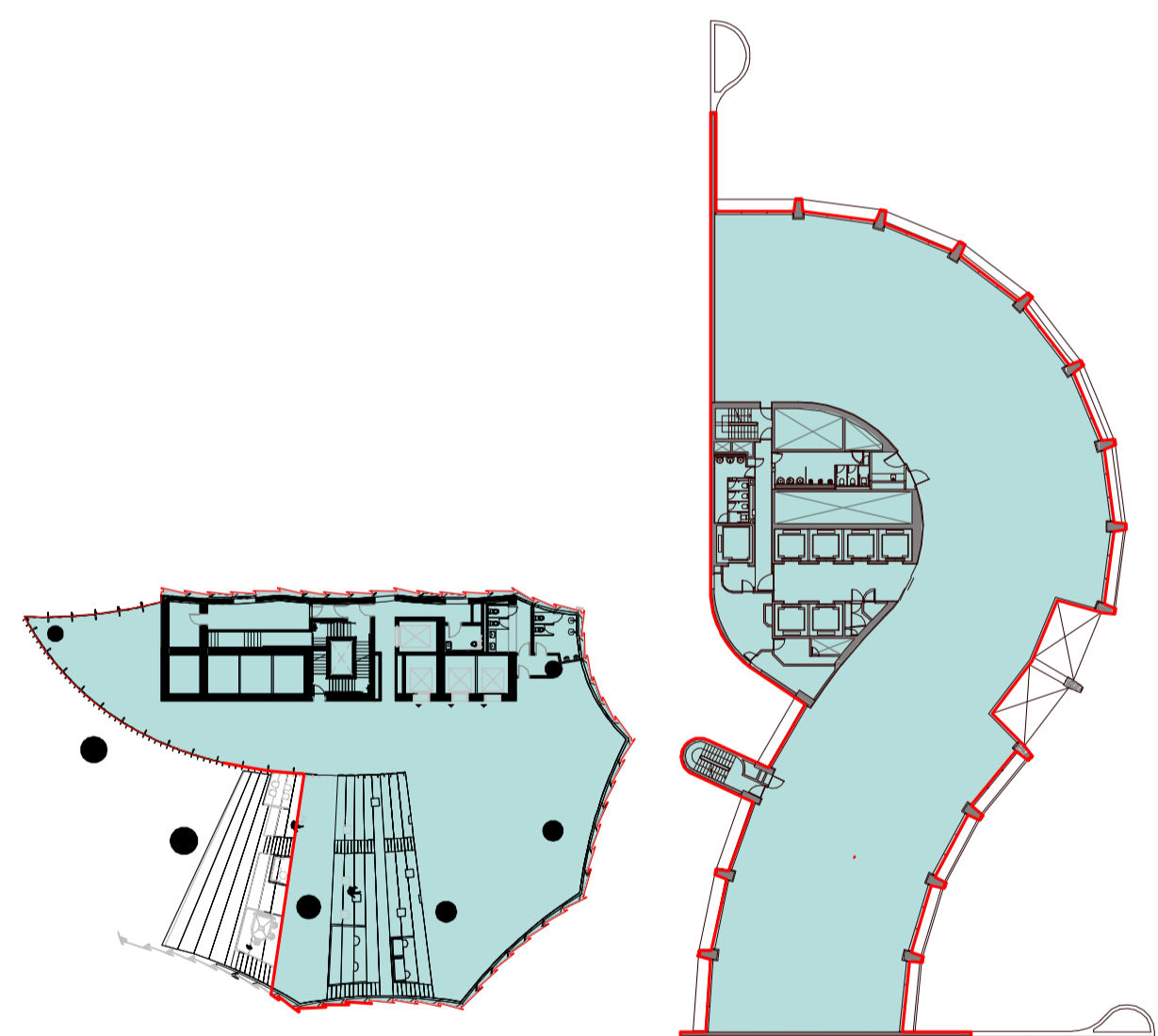
Tower 1 GFA 1,474 sqm
Tower 2 GFA 455 sqm

Level 6



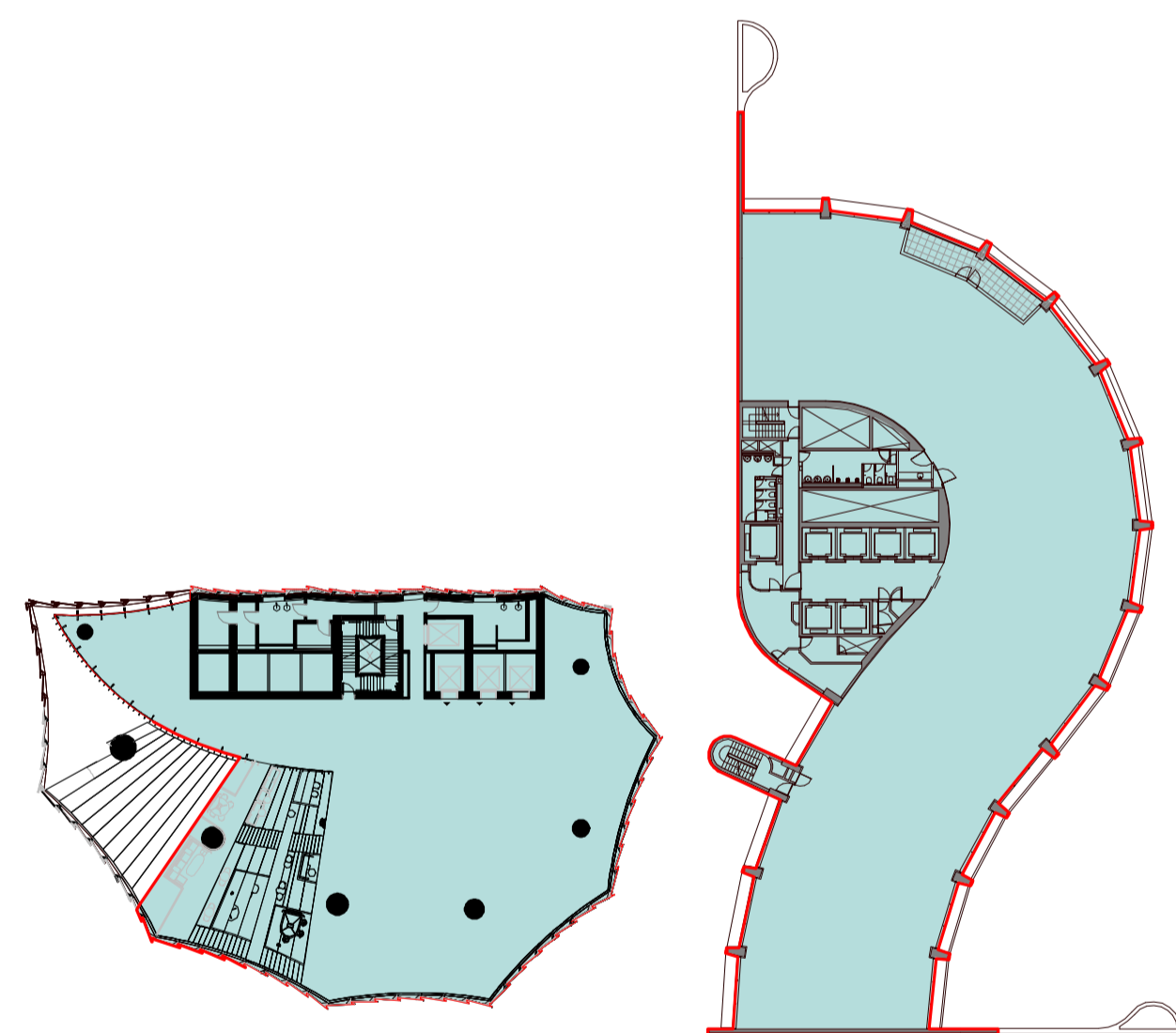
Tower 1 GFA 1,474 sqm
Tower 2 GFA 687 sqm

Level 7



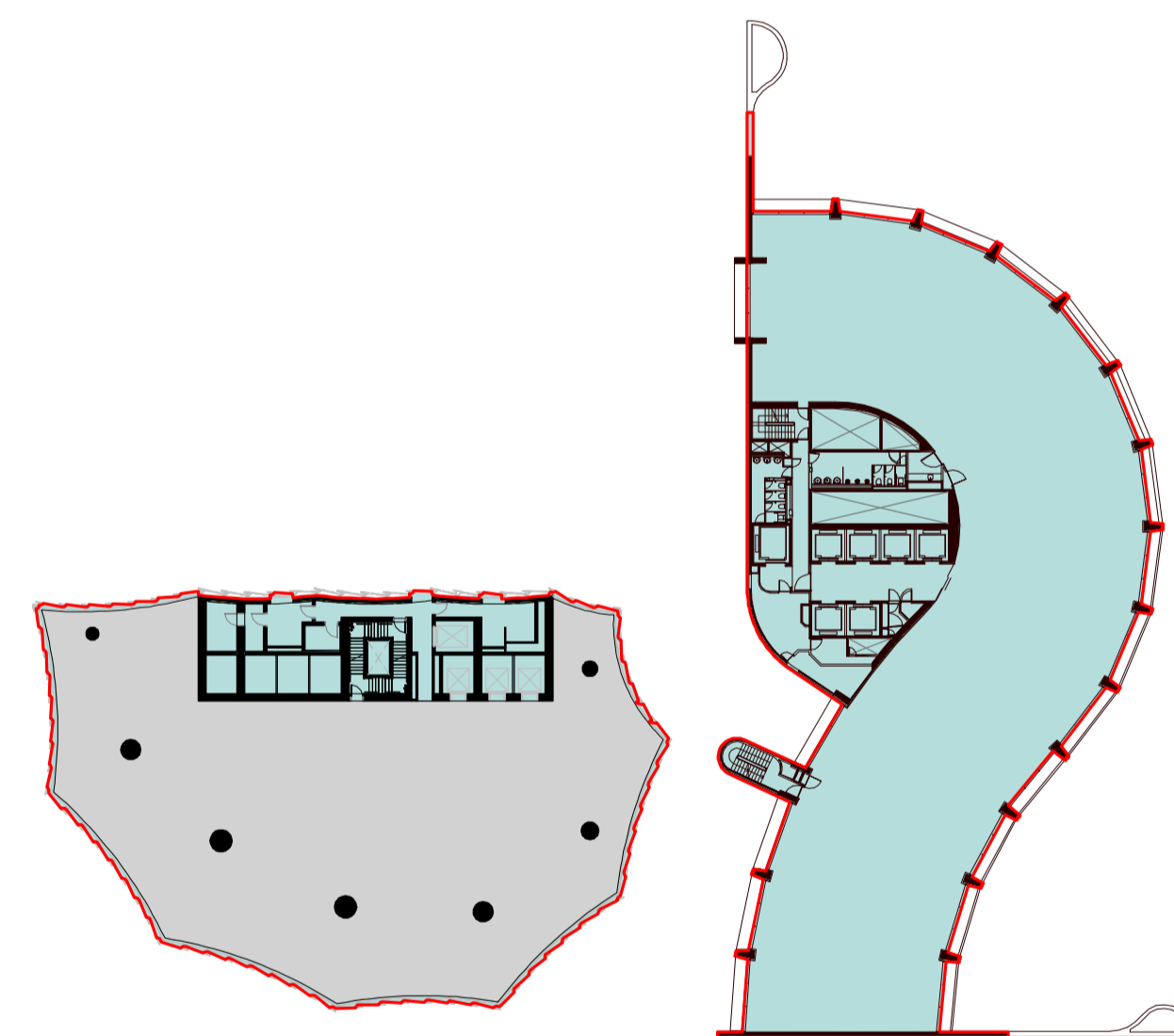
Tower 1 GFA 1,434 sqm
Tower 2 GFA 868 sqm

Level 8



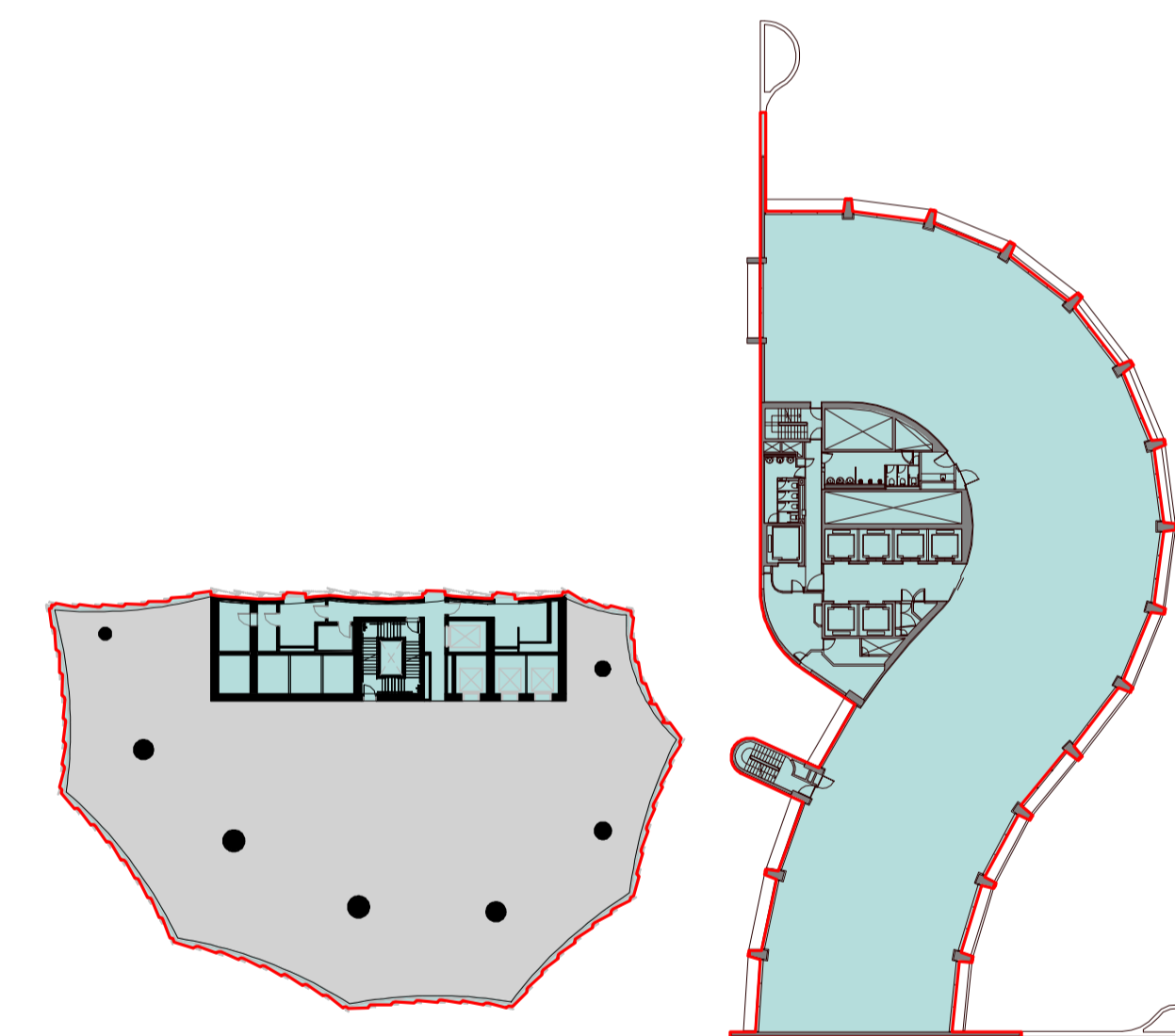
Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,052 sqm

Level 9



Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm

Level 10



Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm

Level 11

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- External Terrace / Porphyry
- Landscape area

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checked	I+A	scale	1 : 550@A1
drawn	I+A	project no	190244

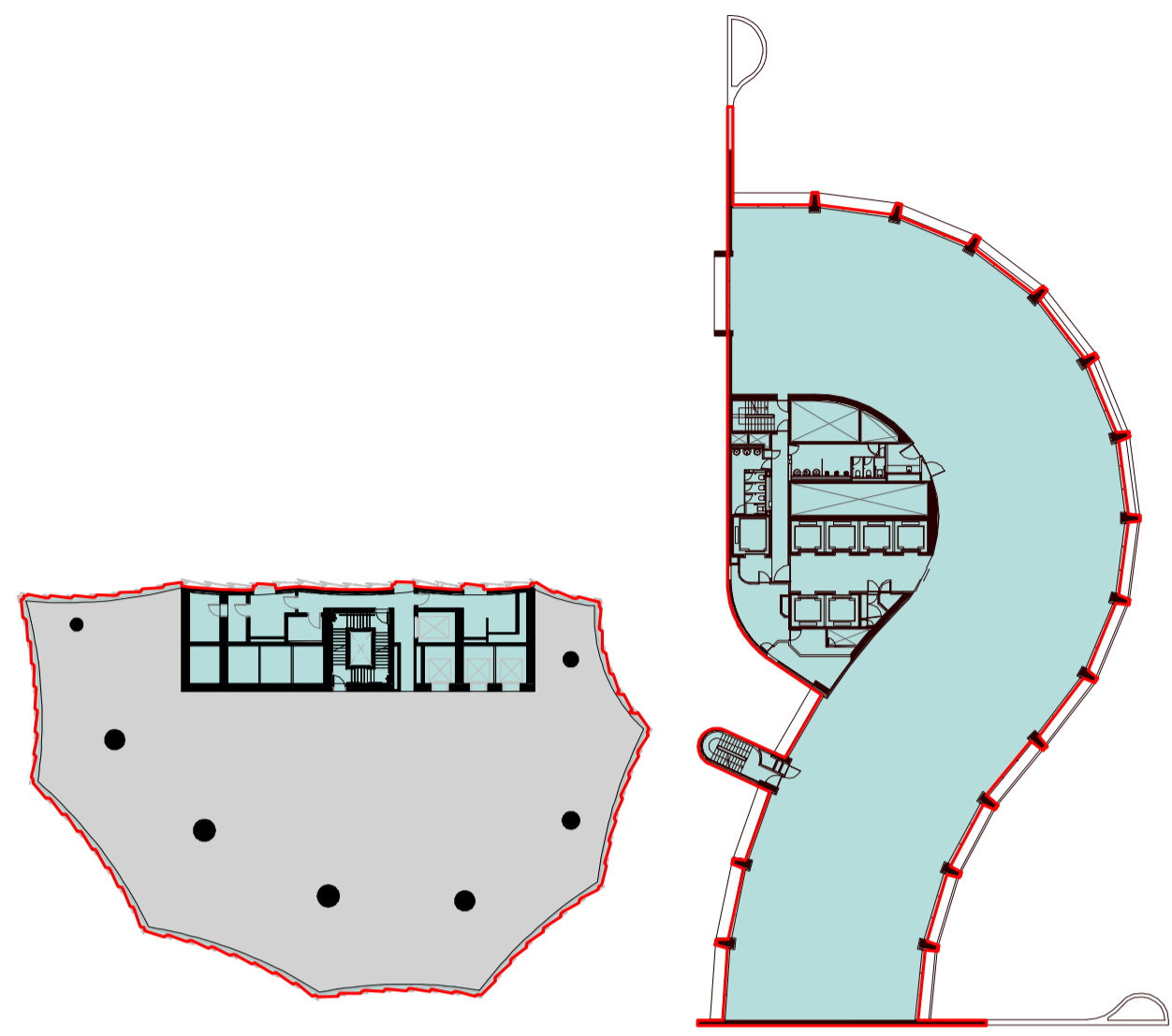
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ABN 90 131 245 684

project
1 SPRING STREET, MELBOURNE

drawing
GFA DIAGRAM 2

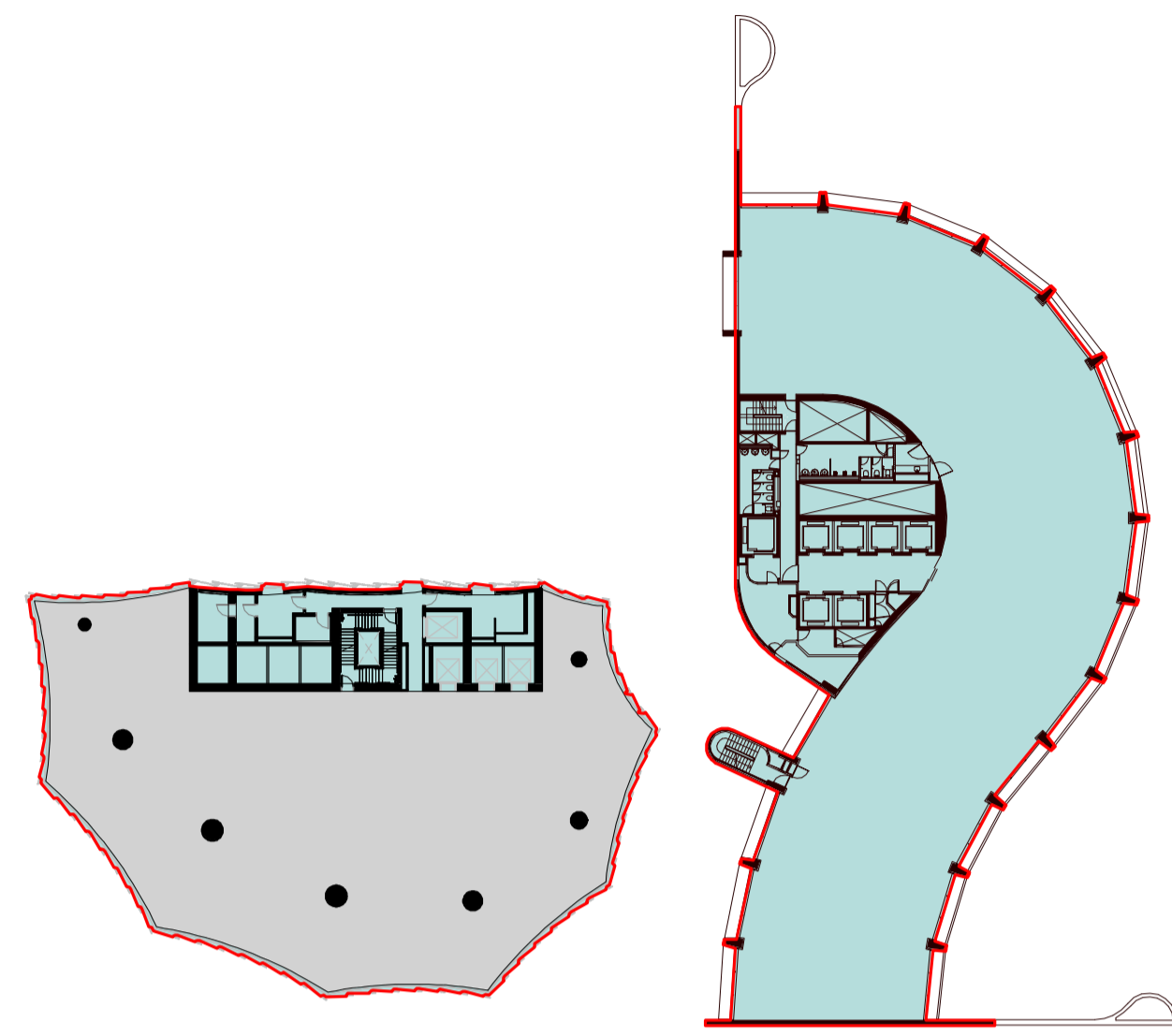
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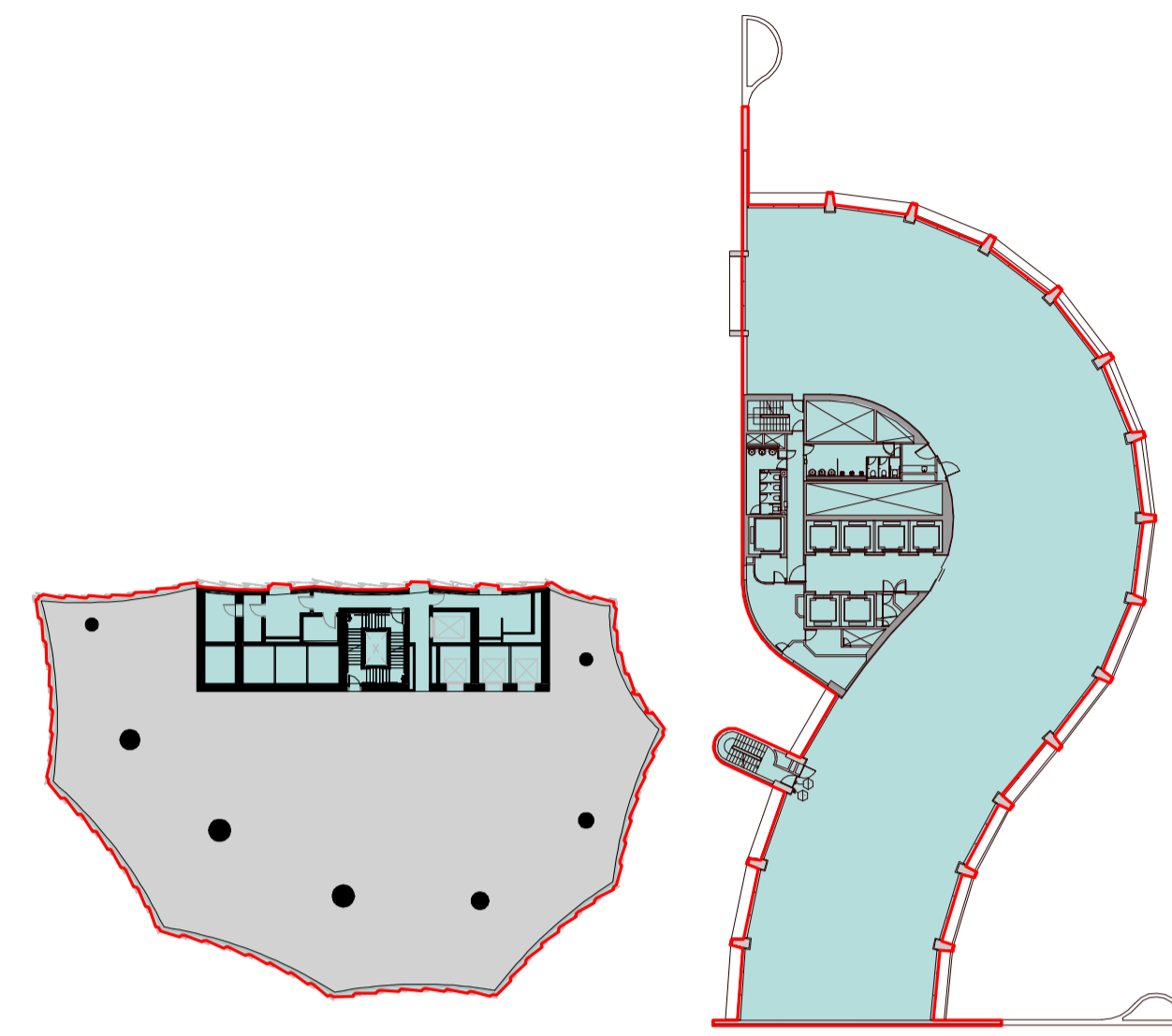
Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm

Level 12



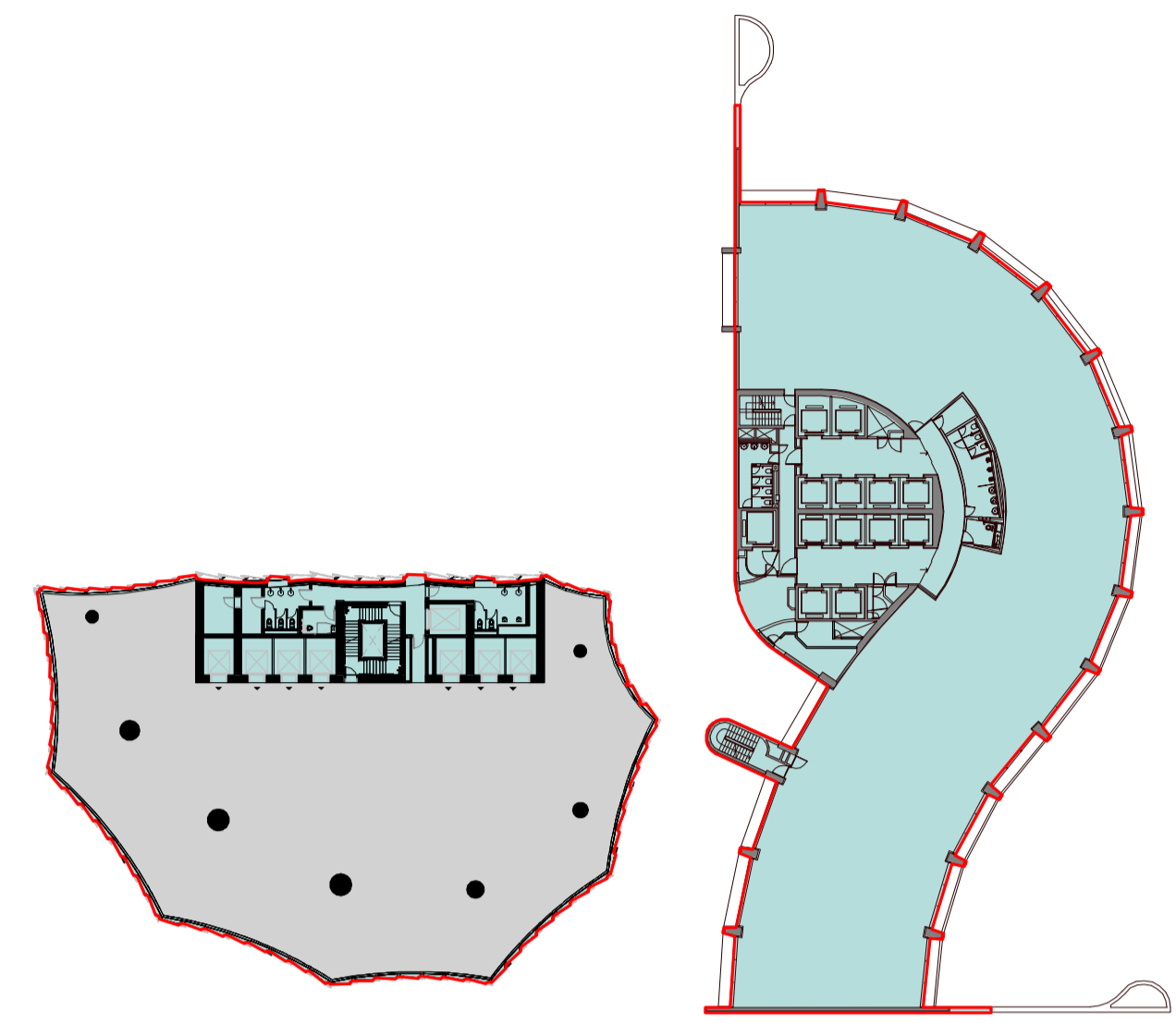
Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm

Level 13



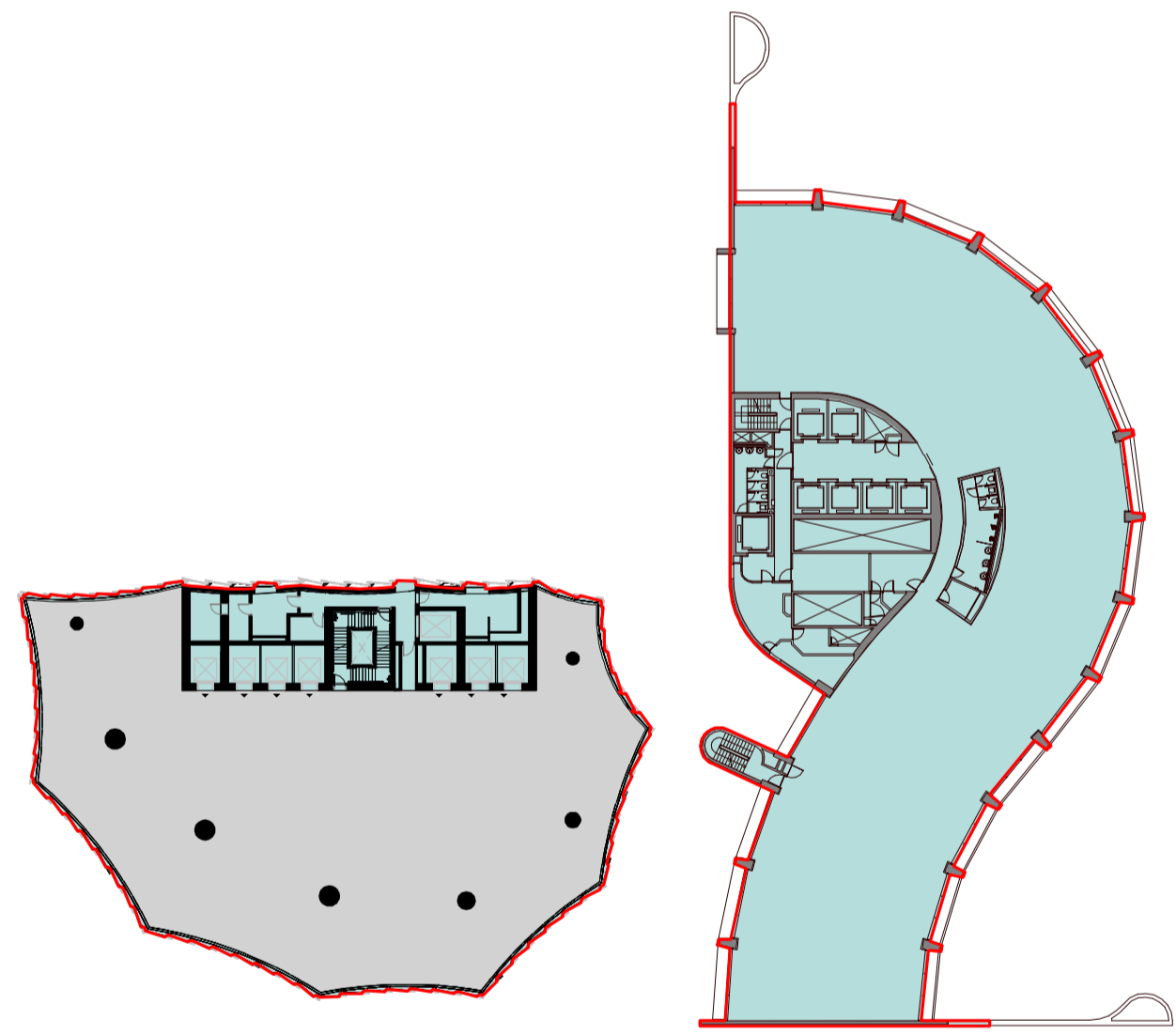
Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm

Level 14



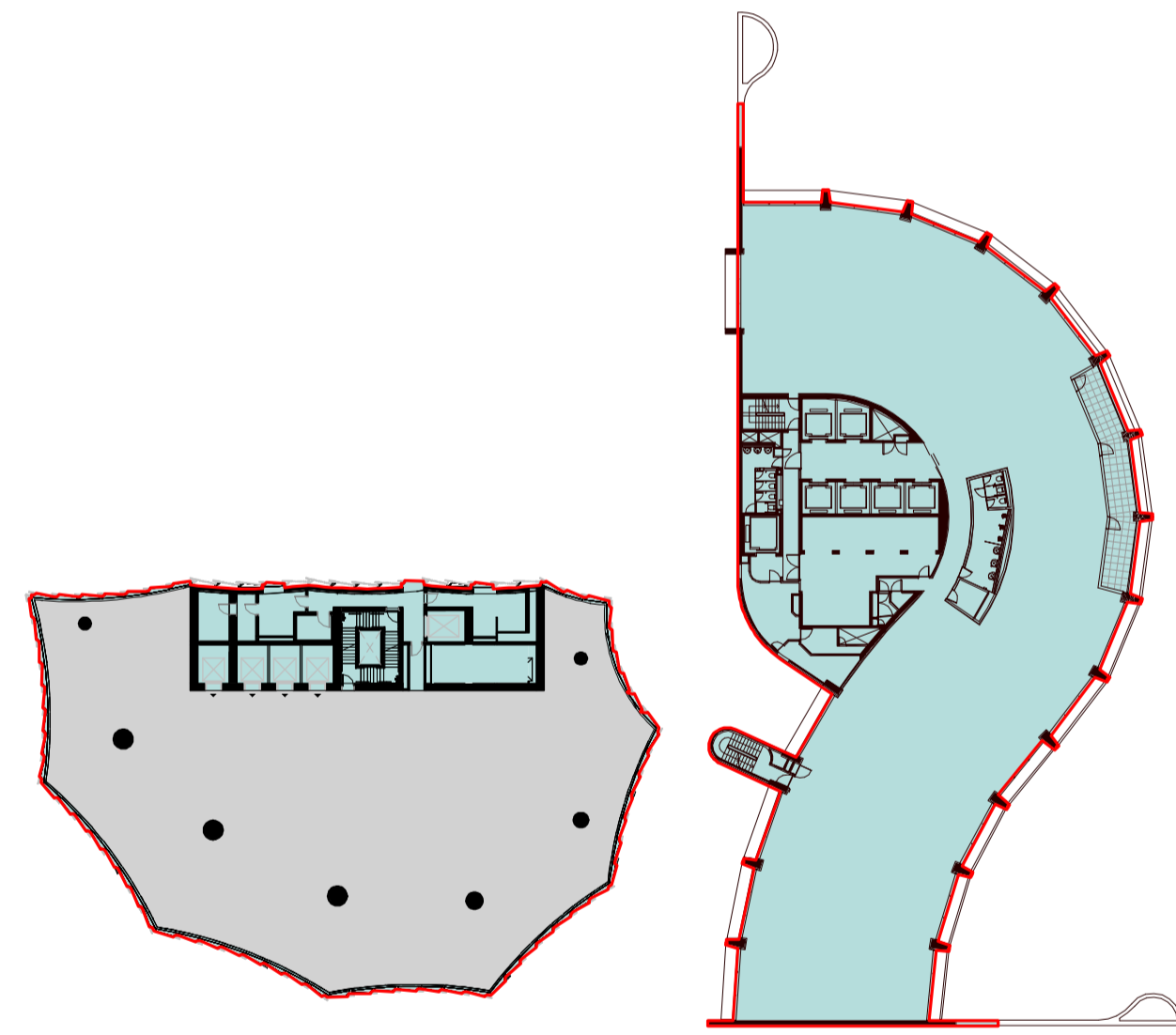
Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm

Level 15



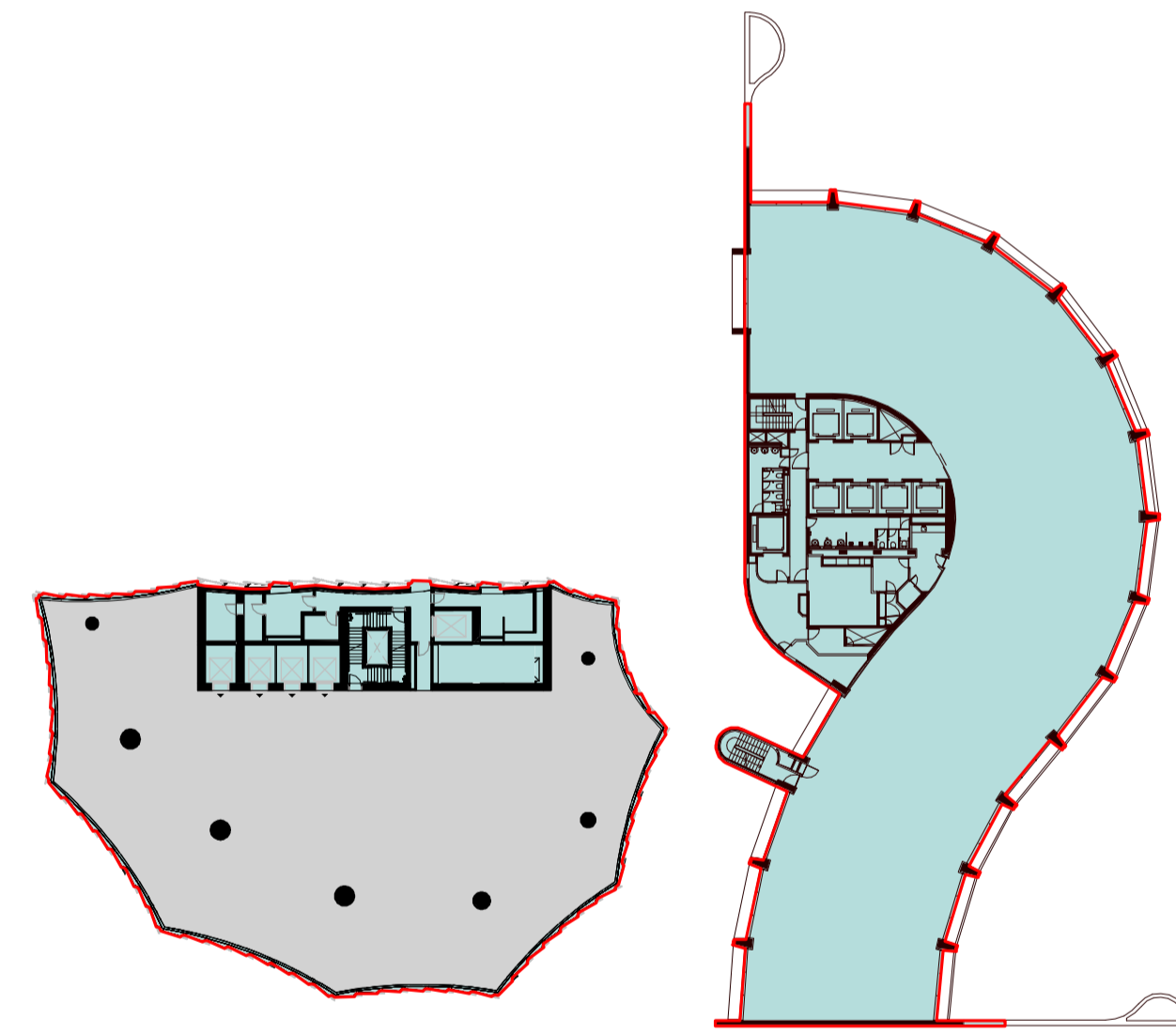
Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm

Level 16



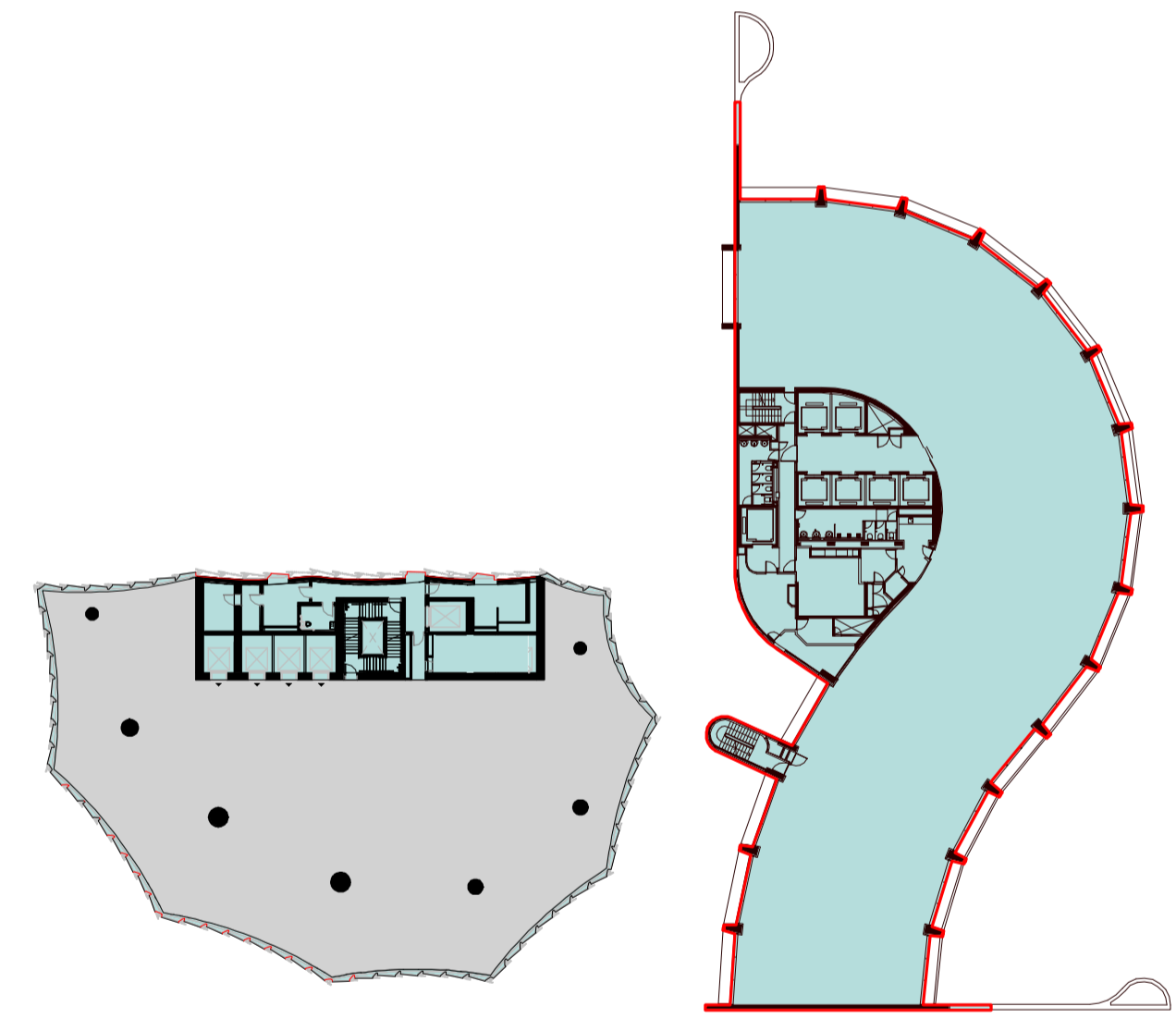
Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm

Level 17



Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm

Level 18



Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm

Level 19

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checked	I+A	scale	1 : 550@A1
drawn	I+A	project no	190244

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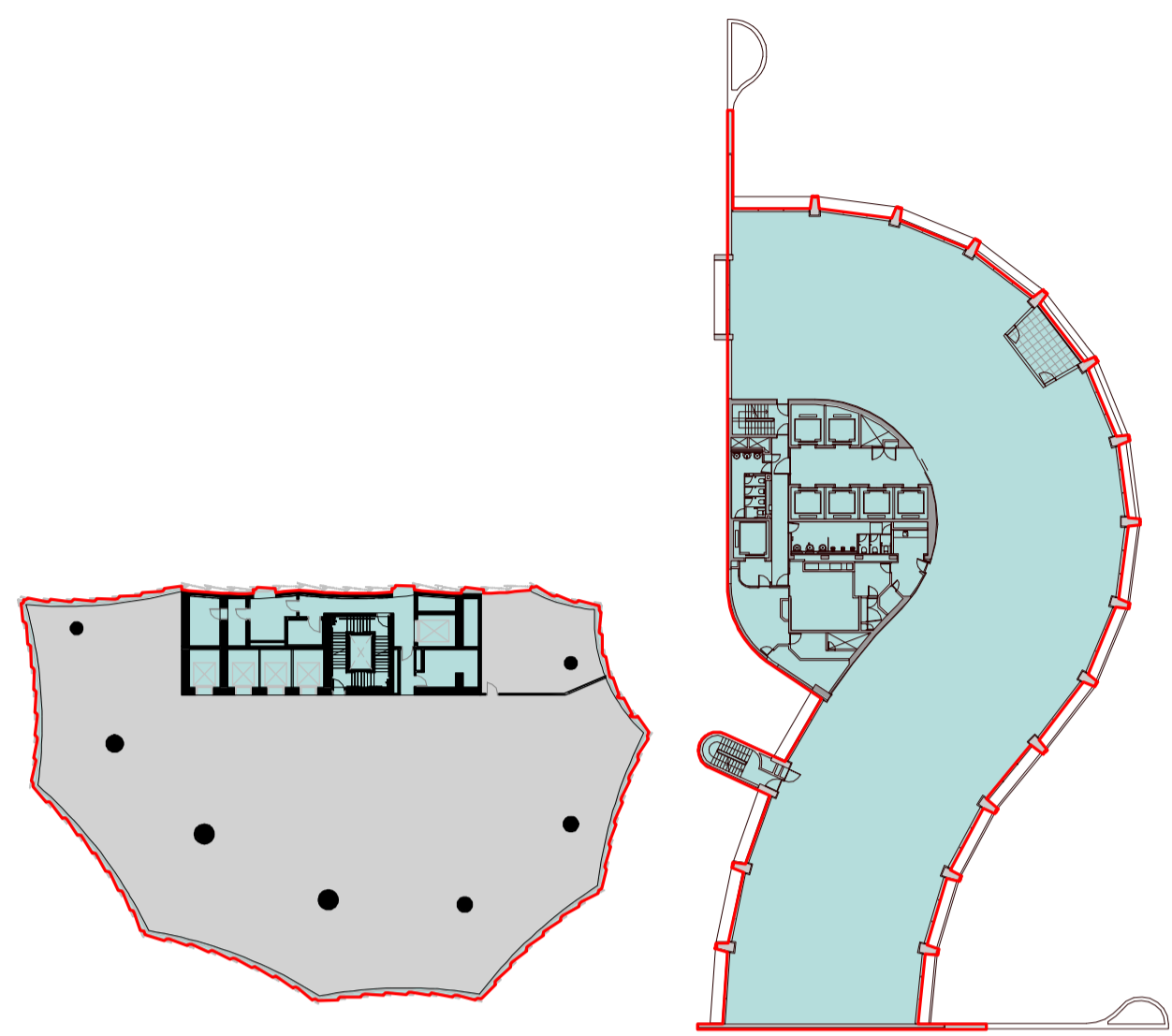
project
1 SPRING STREET, MELBOURNE

drawing
GFA DIAGRAM 3

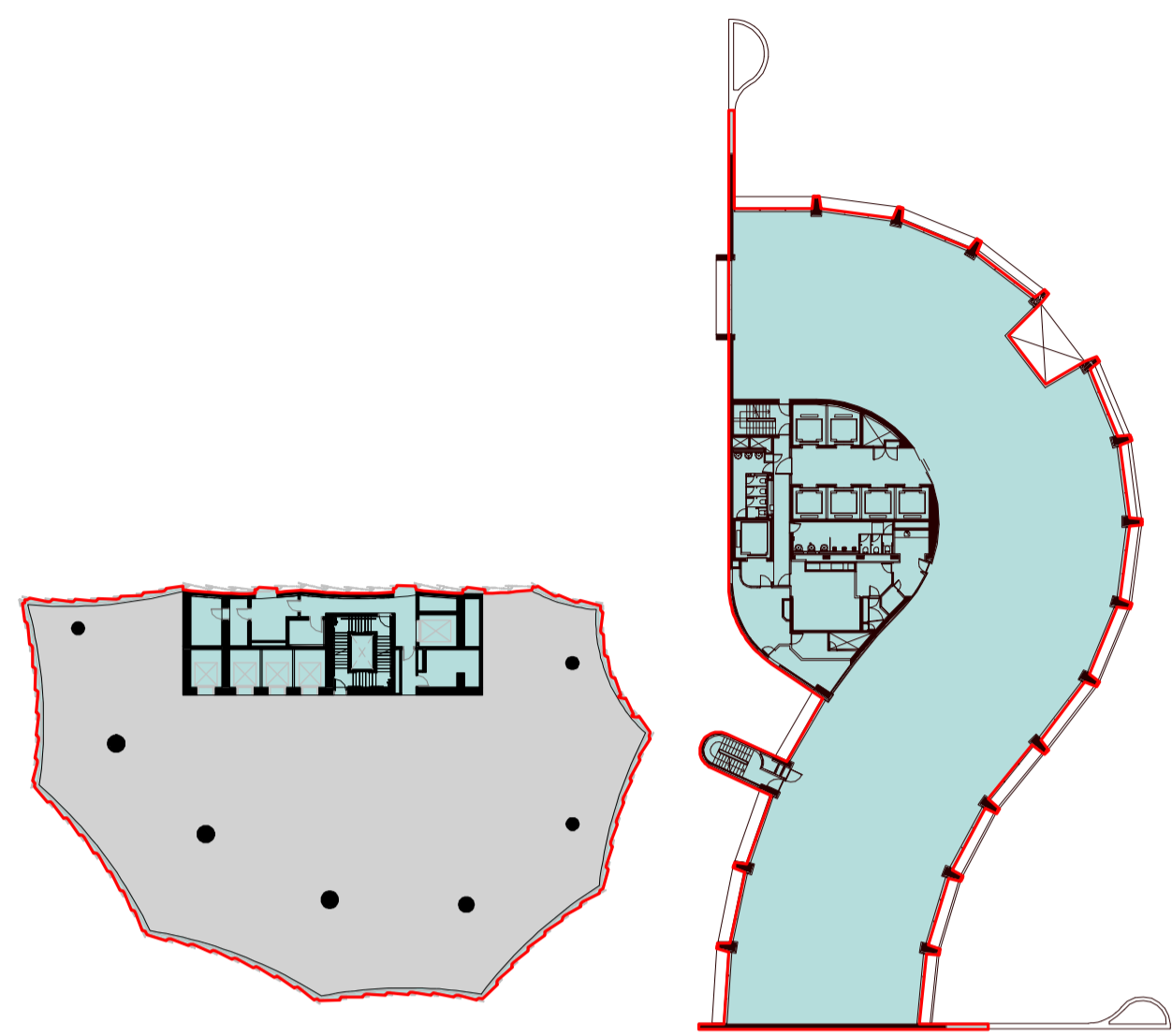
drawing no.
DA9502

issue
J

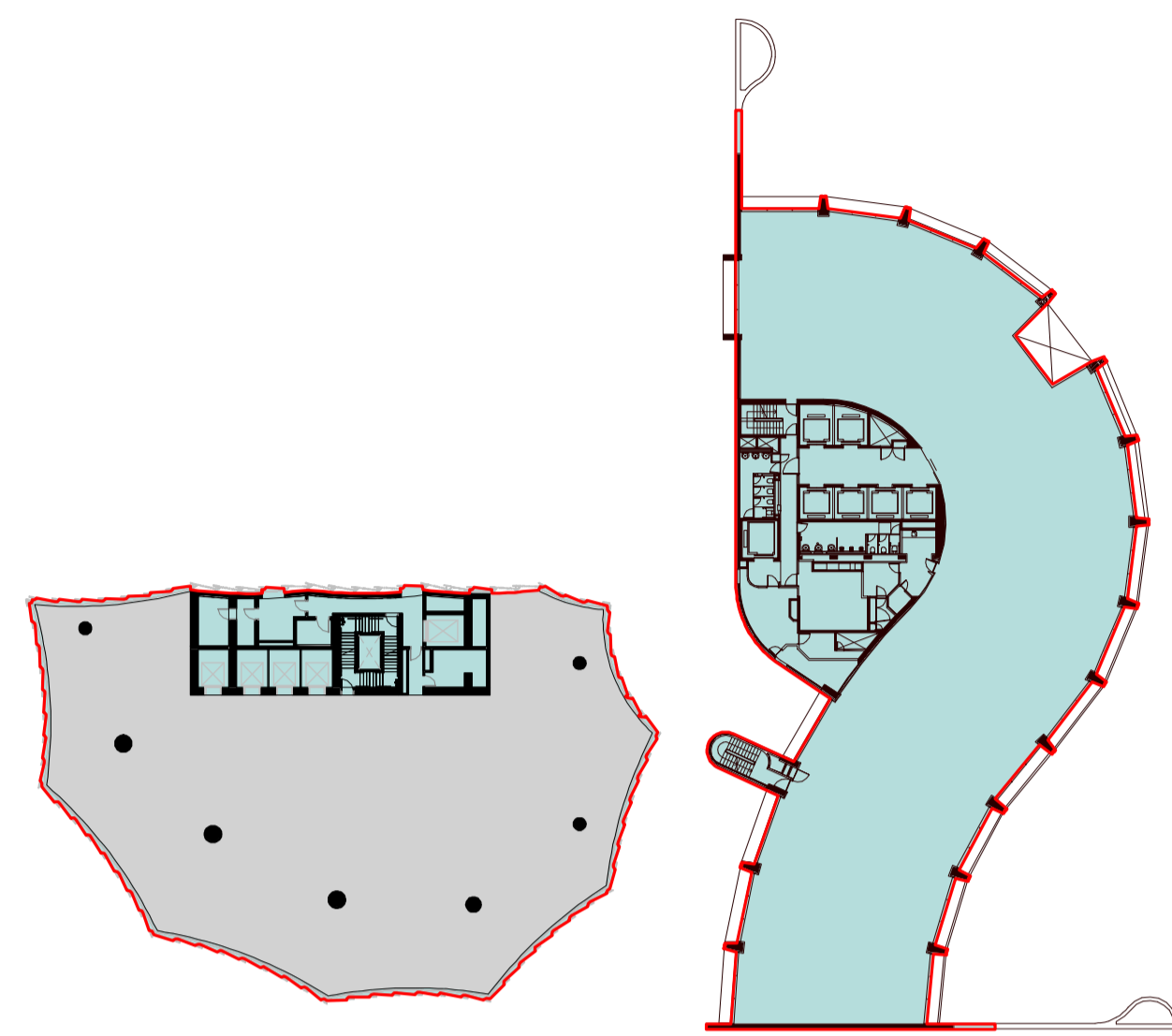
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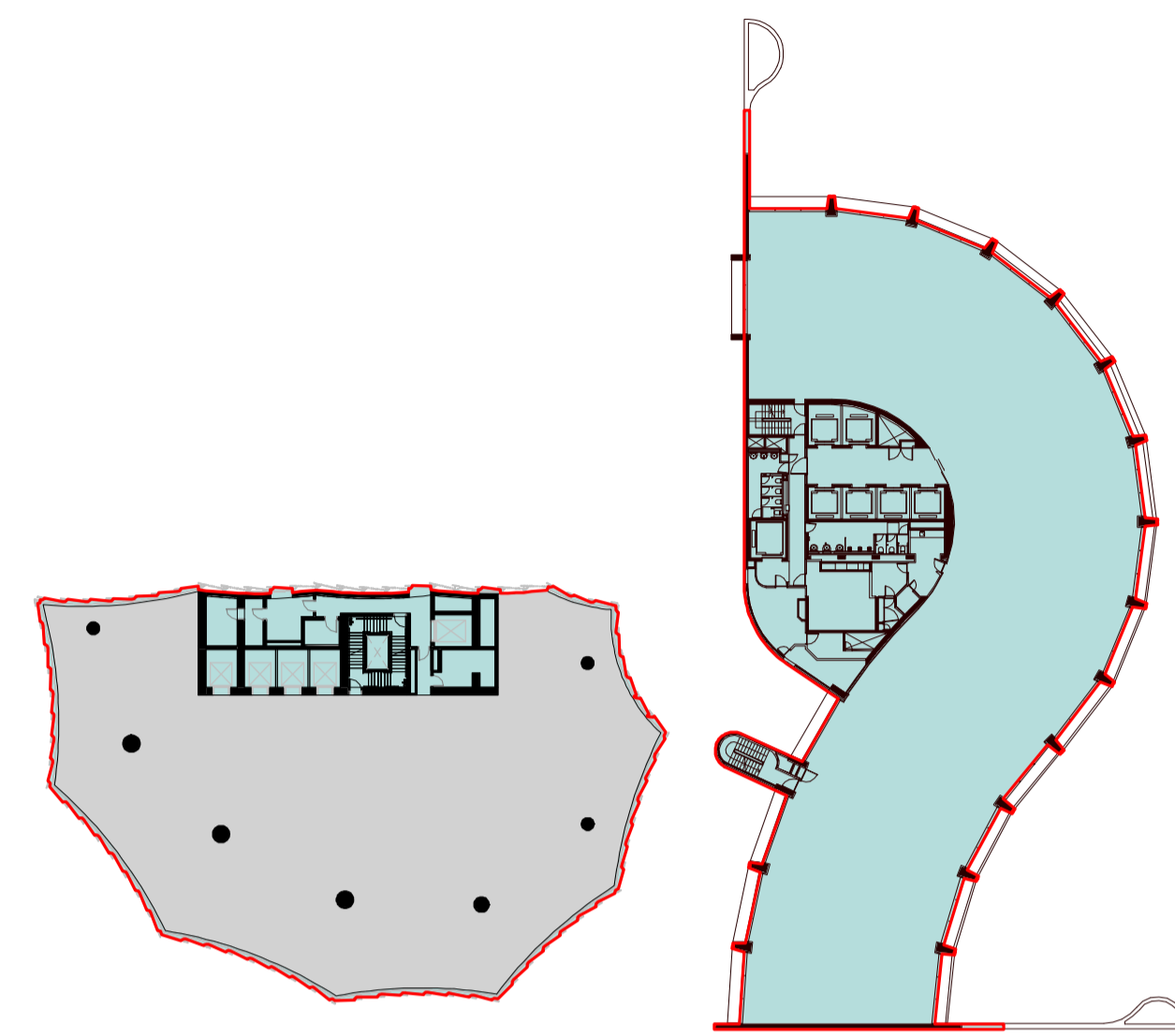
Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm
Level 20



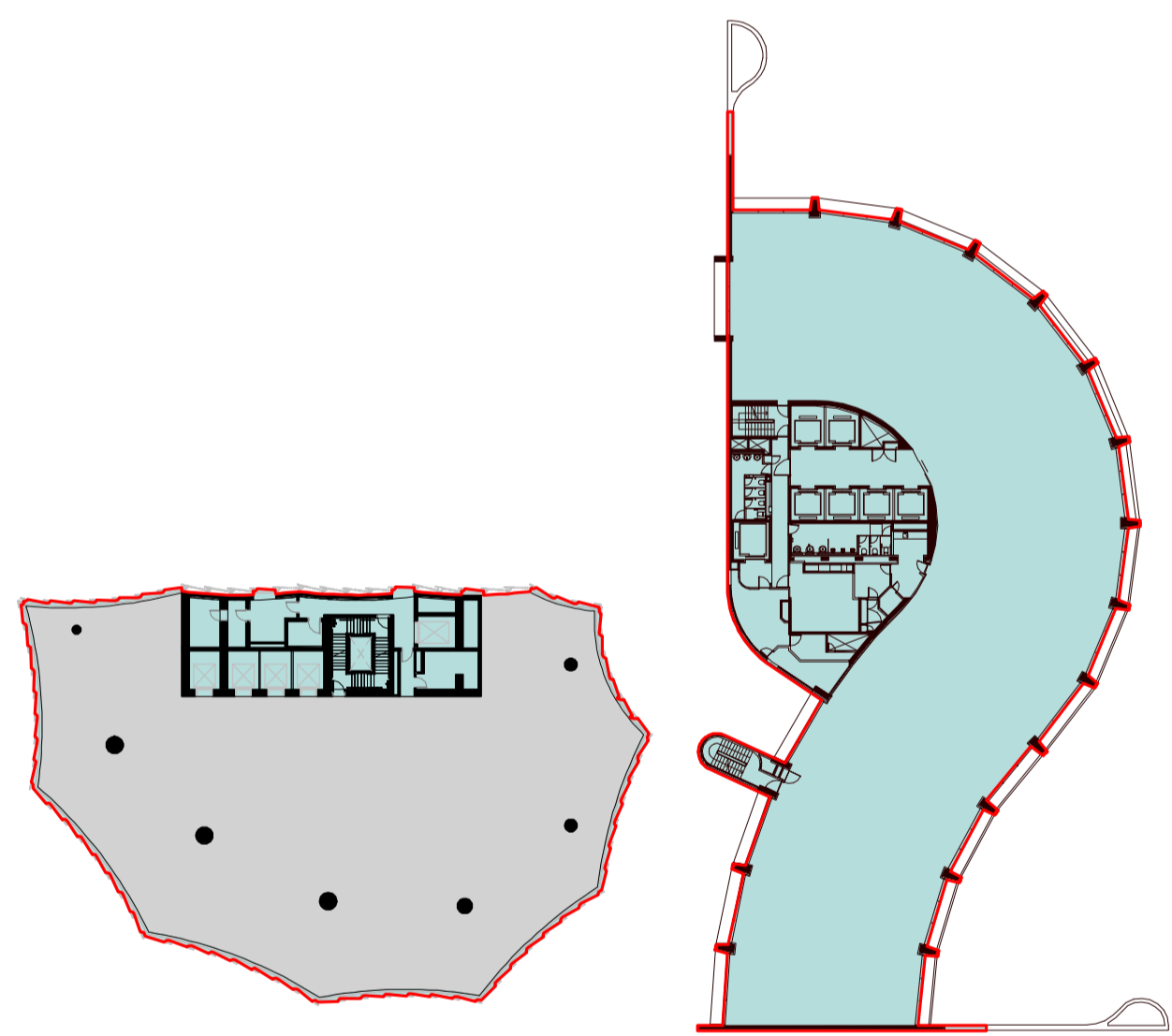
Tower 1 GFA 1,455 sqm
Tower 2 GFA 1,238 sqm
Level 21



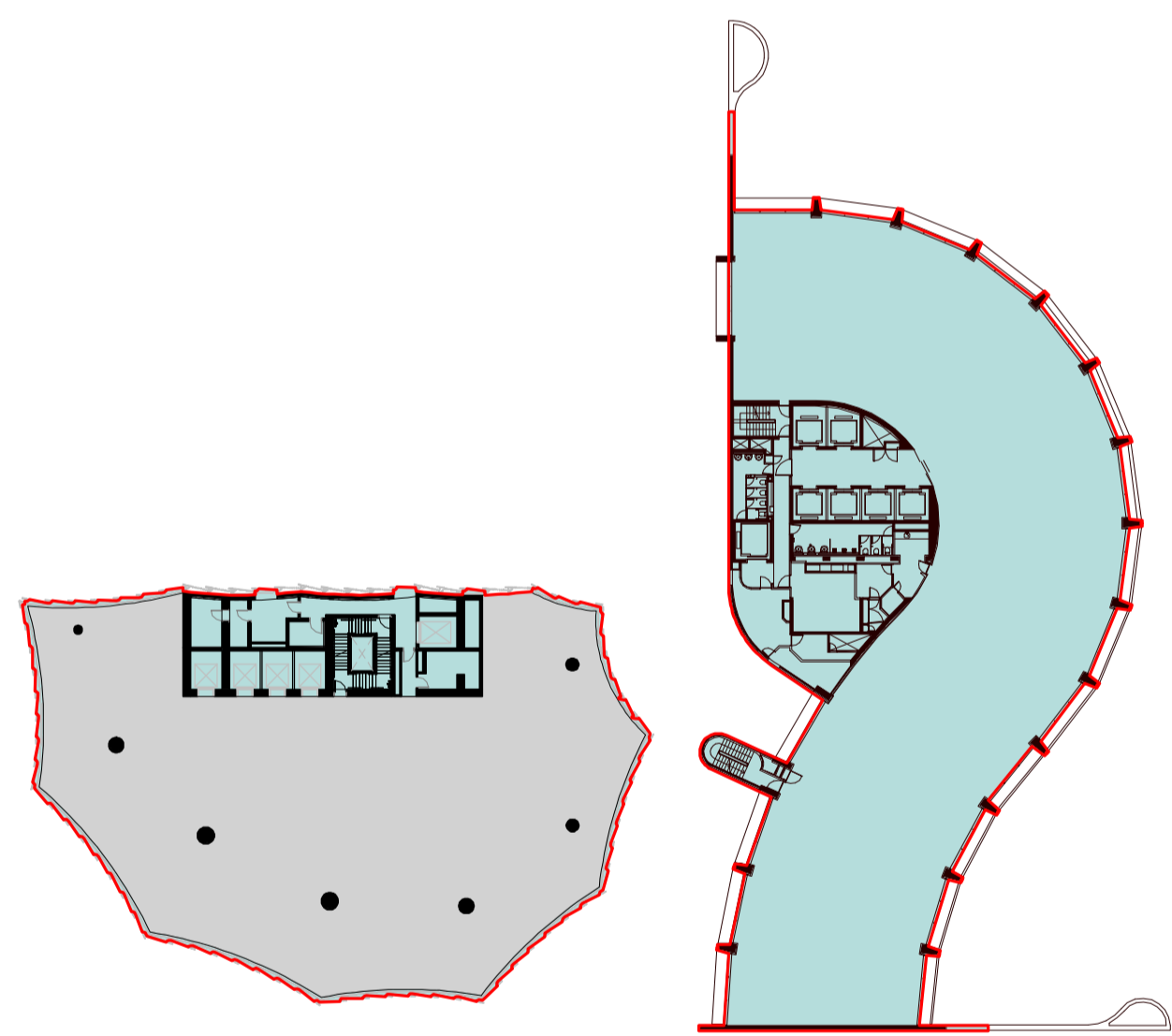
Tower 1 GFA 1,455 sqm
Tower 2 GFA 1,232 sqm
Level 22



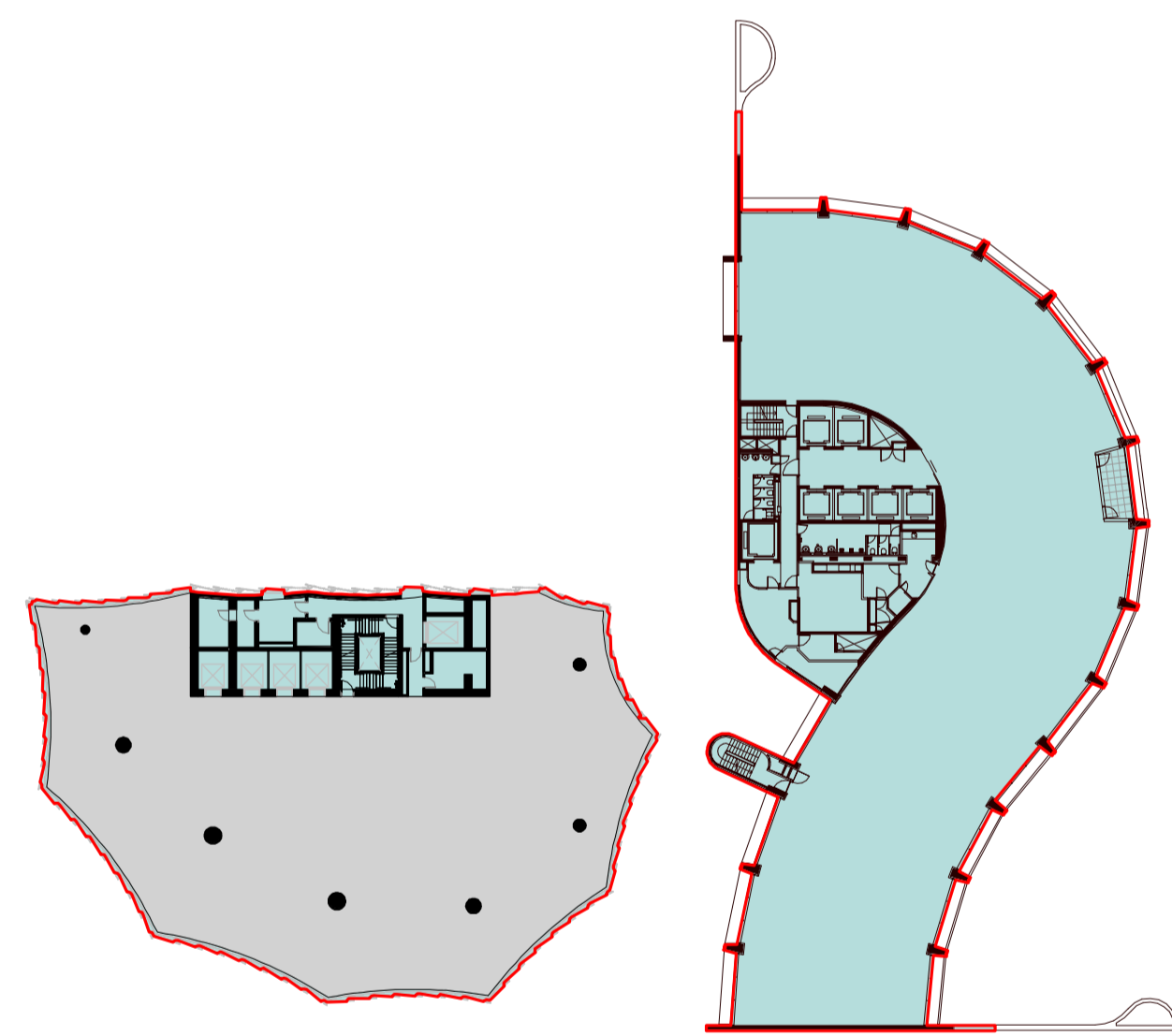
Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm
Level 23



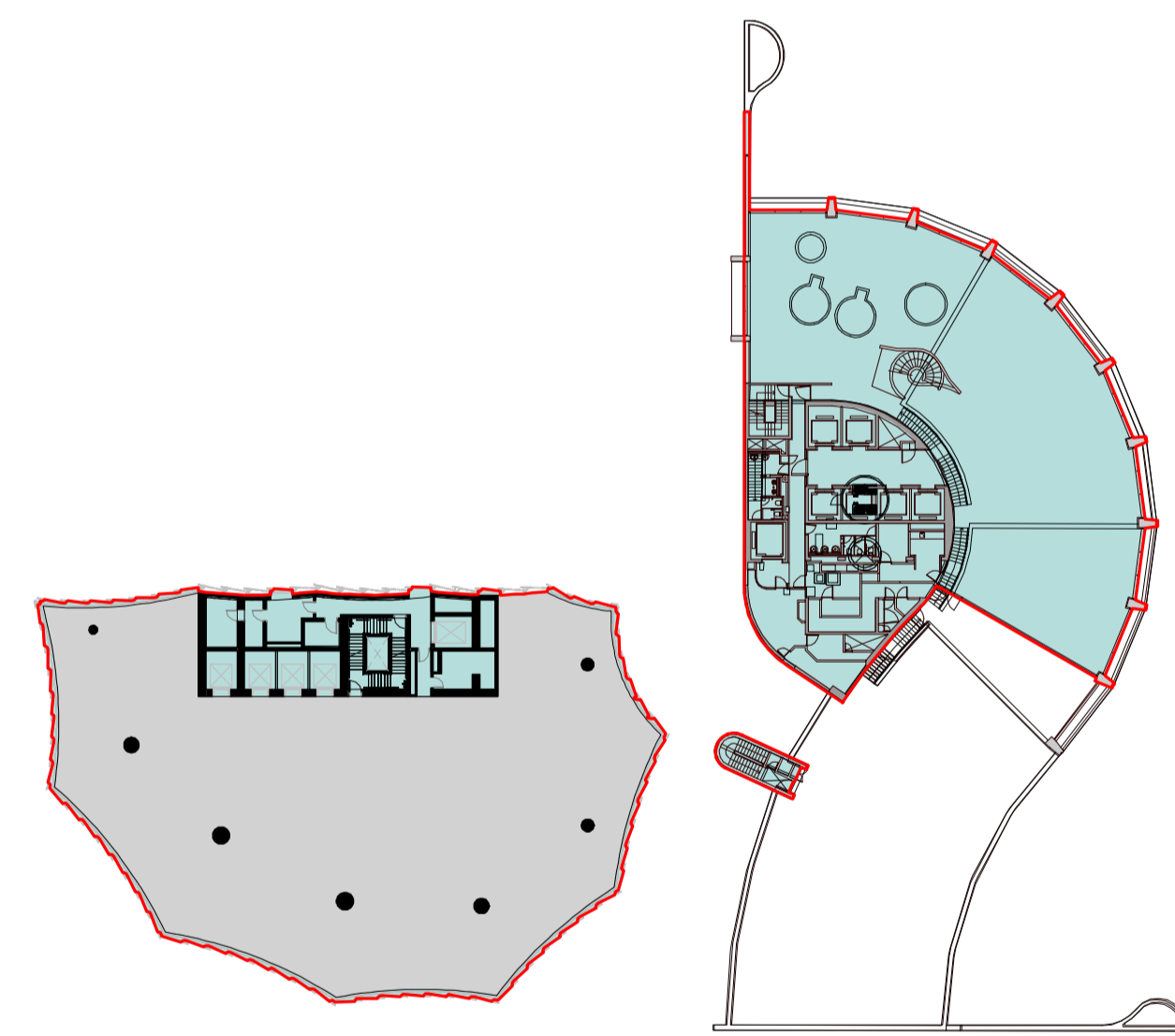
Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm
Level 24



Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm
Level 25



Tower 1 GFA 1,474 sqm
Tower 2 GFA 1,238 sqm
Level 26



Tower 1 GFA 943 sqm
Tower 2 GFA 1,238 sqm
Level 27

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Nominated Architect
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drawn	I+A	project no	190244

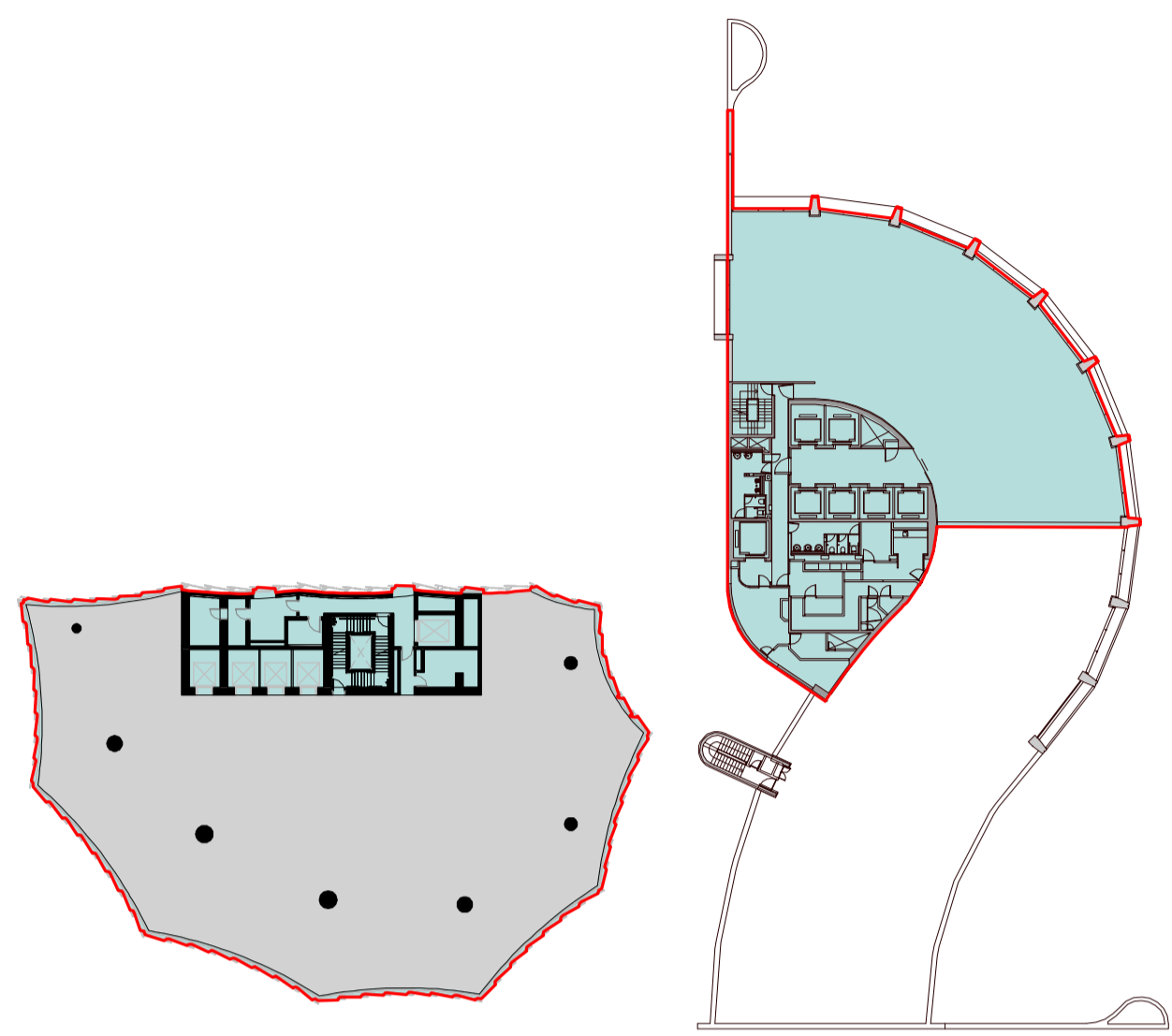
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project
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drawing
GFA DIAGRAM 4

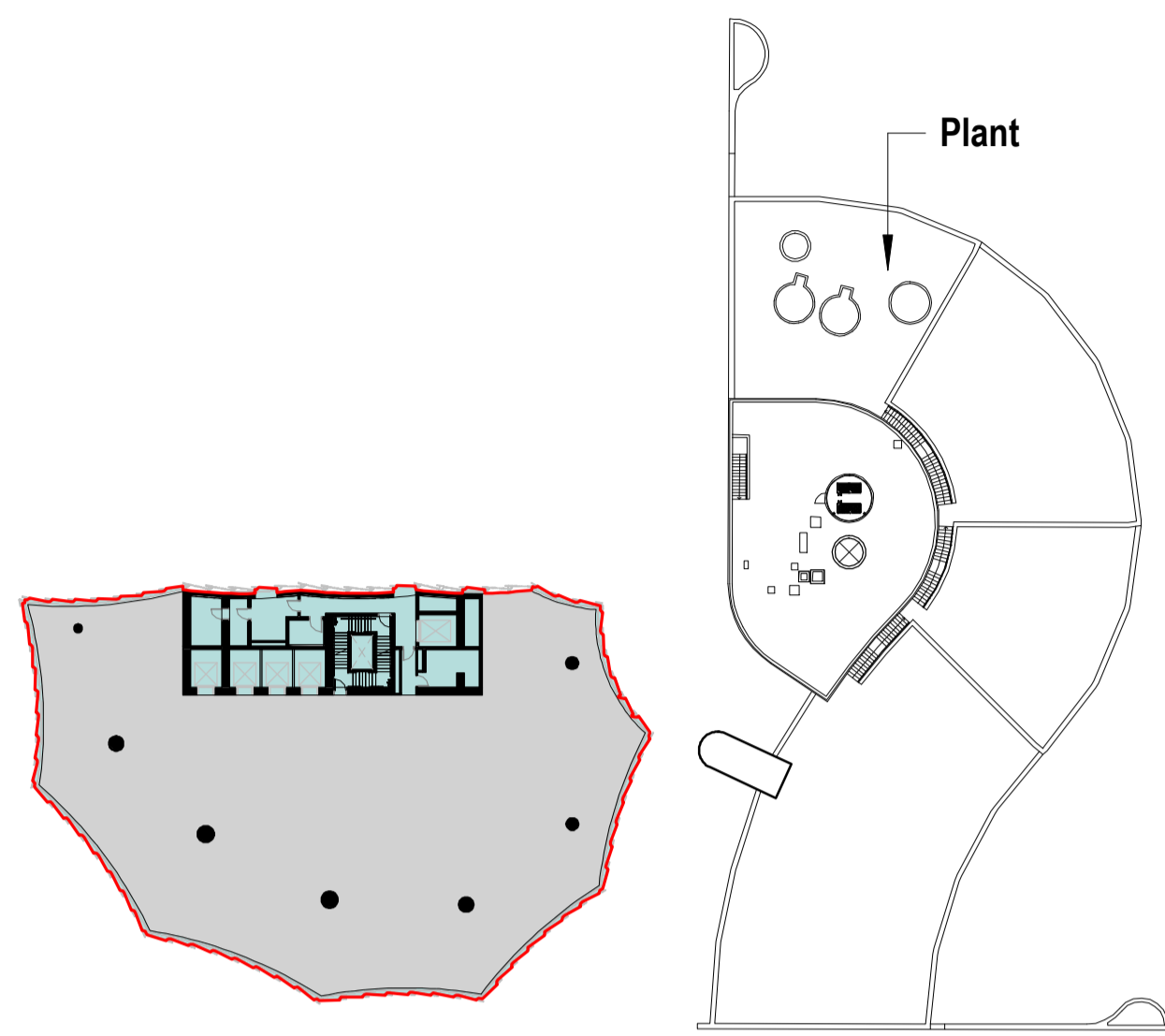
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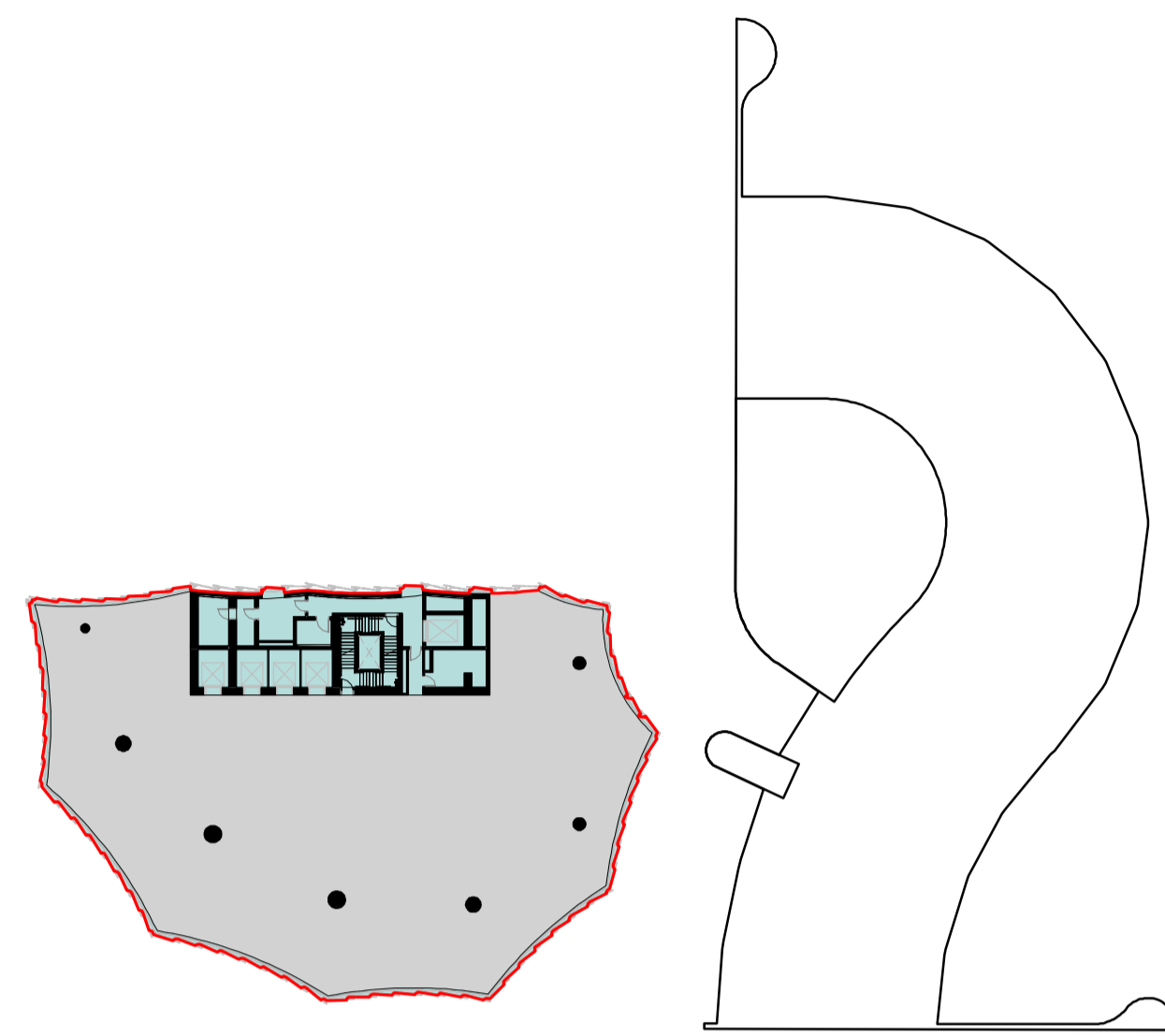
Tower 1 GFA 797 sqm
Tower 2 GFA 1,238 sqm

Level 28



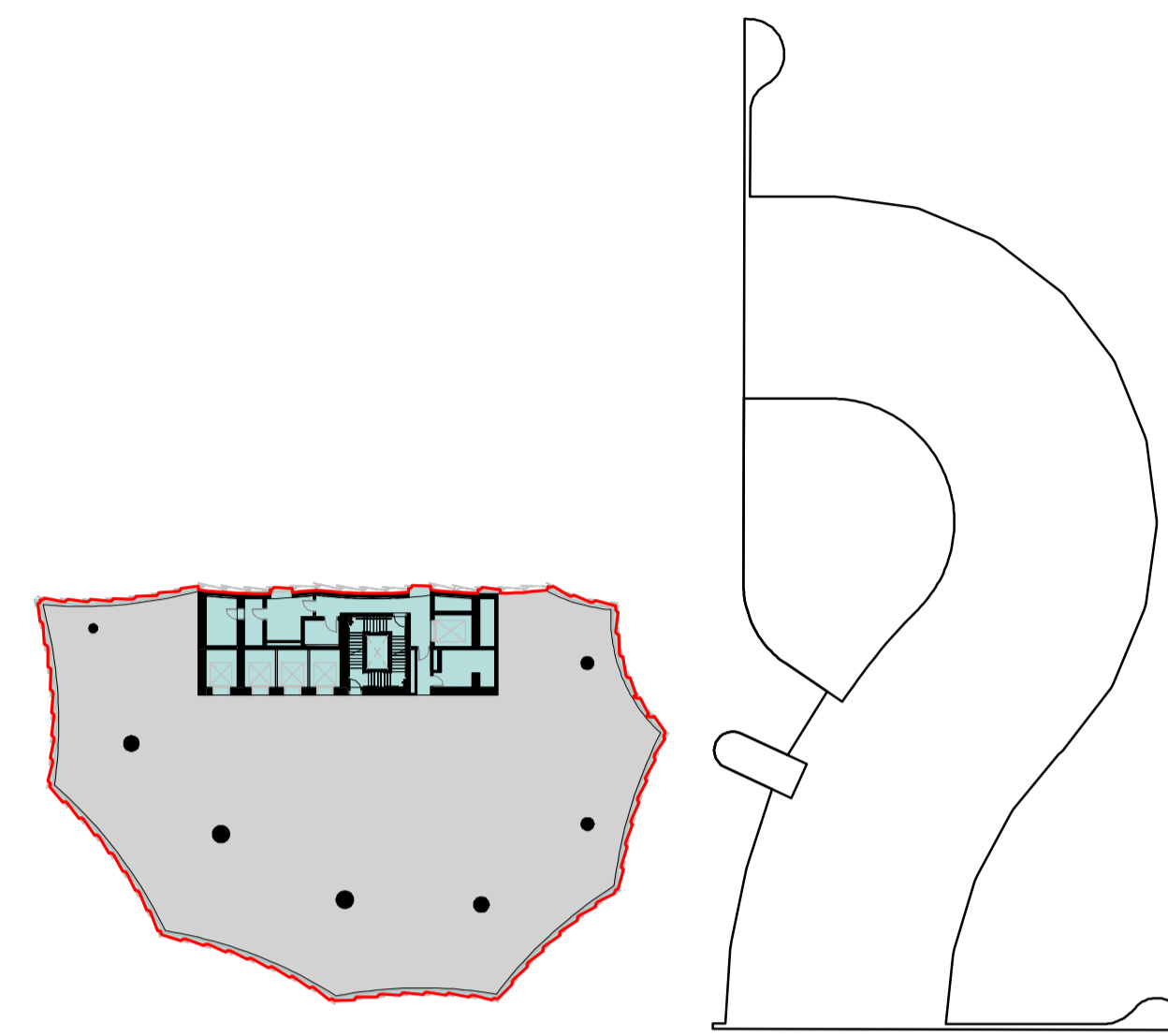
Tower 2 GFA 1,238 sqm

Level 29



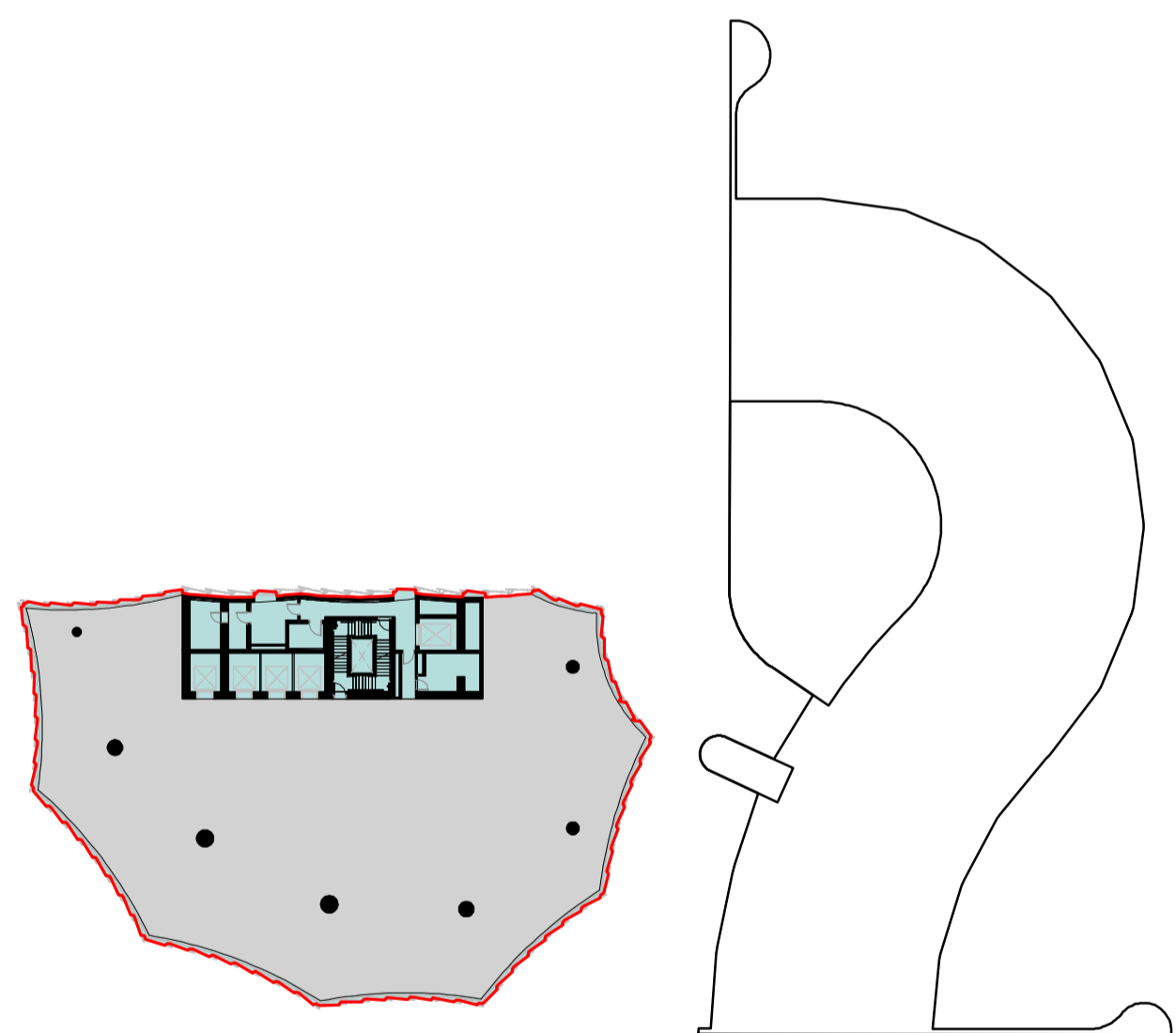
Tower 2 GFA 1,238 sqm

Level 30



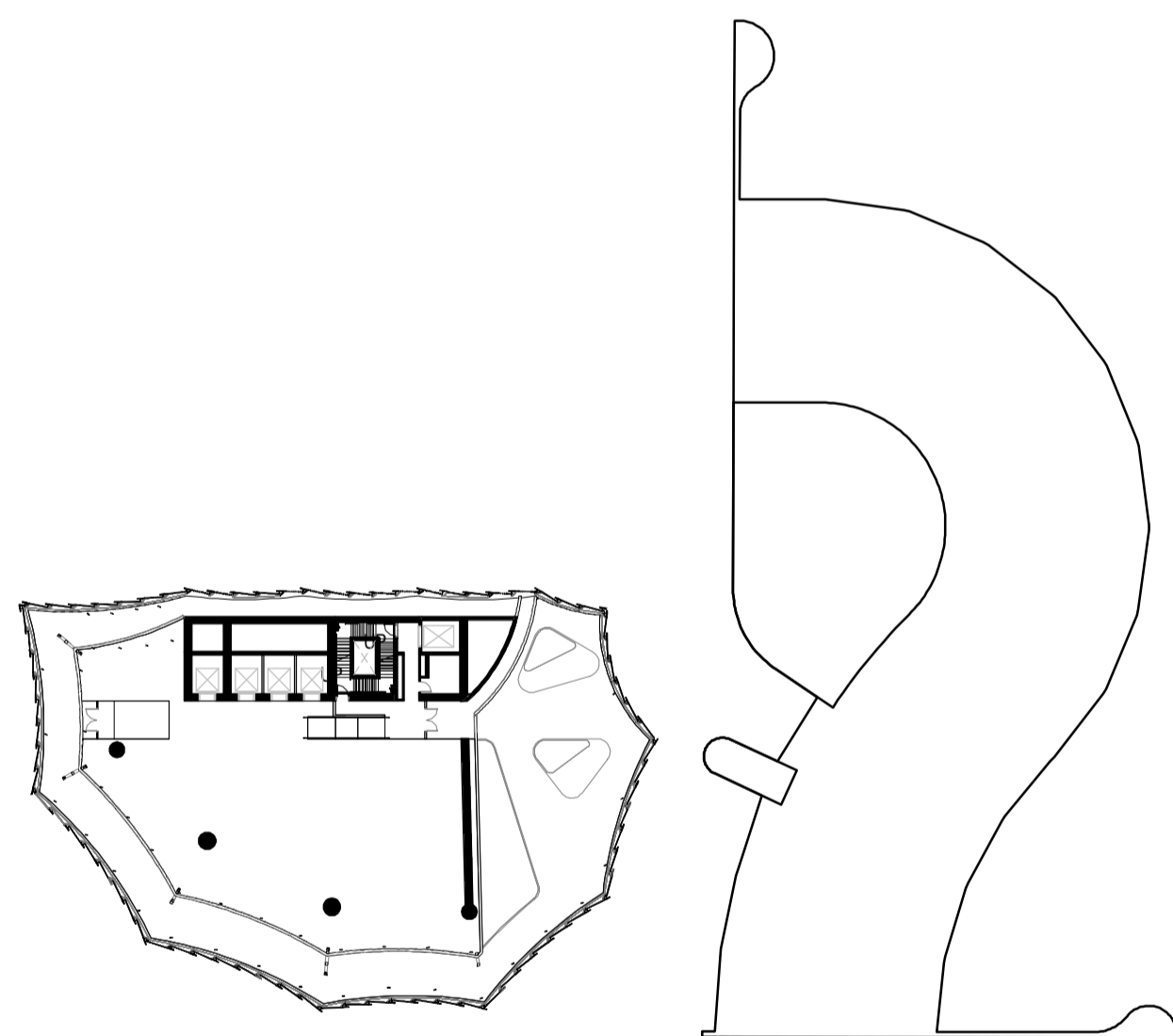
Tower 2 GFA 1,238 sqm

Level 31

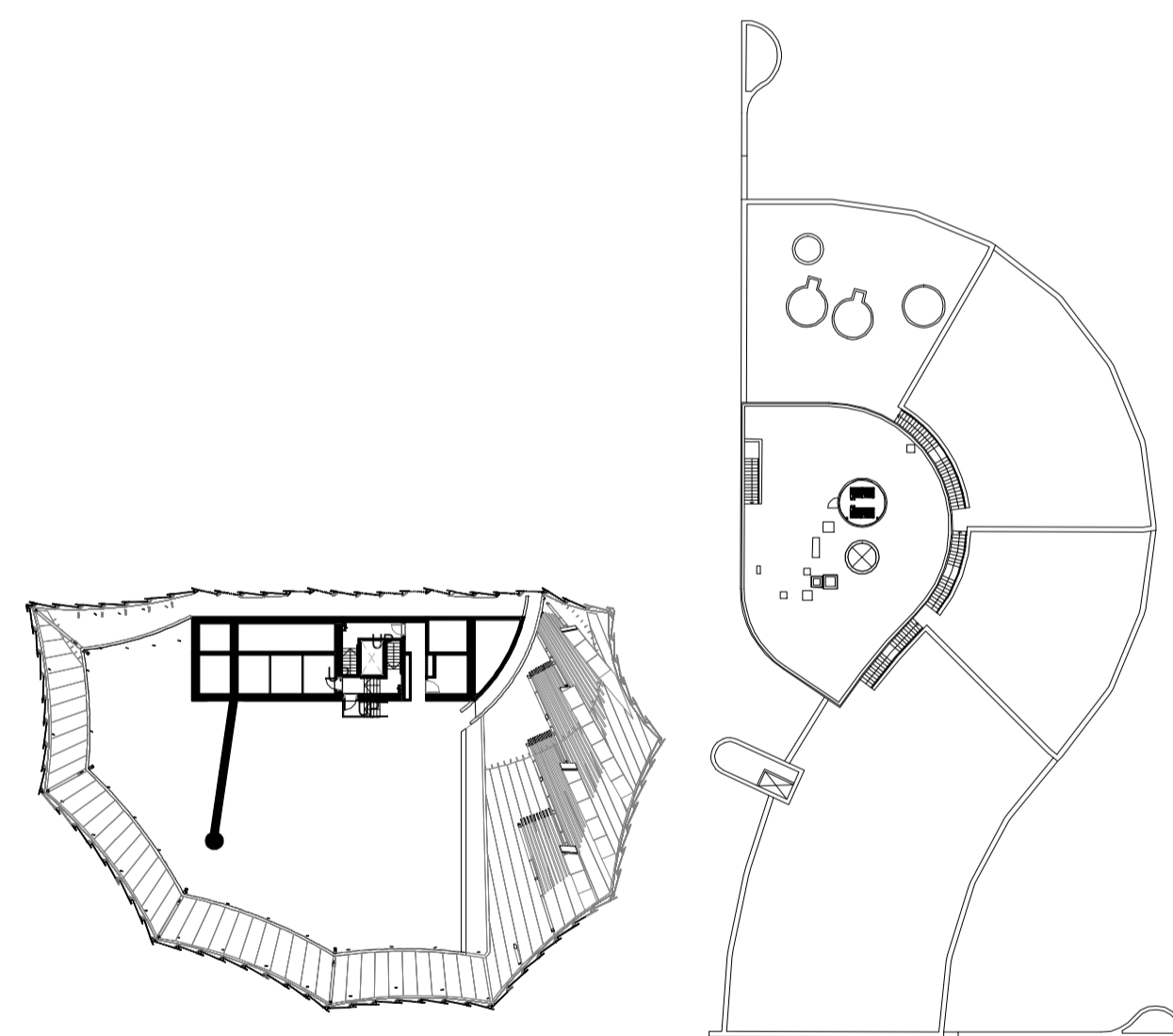


Tower 2 GFA 1,238 sqm

Level 32



Level 33



Level 34

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checked	I+A	scale	1 : 550@A1
drawn	I+A	project no	190244

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project
1 SPRING STREET, MELBOURNE

drawing
GFA DIAGRAM 5

drawing no. DA9504
issue J

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11AM - 22/09



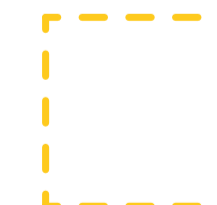
12PM - 22/09



1PM - 22/09



Additional Shadow By Proposed Development



Shadow By Proposed Development

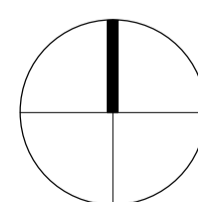
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checked	I+A	scale	
drawn	I+A	project no	190244

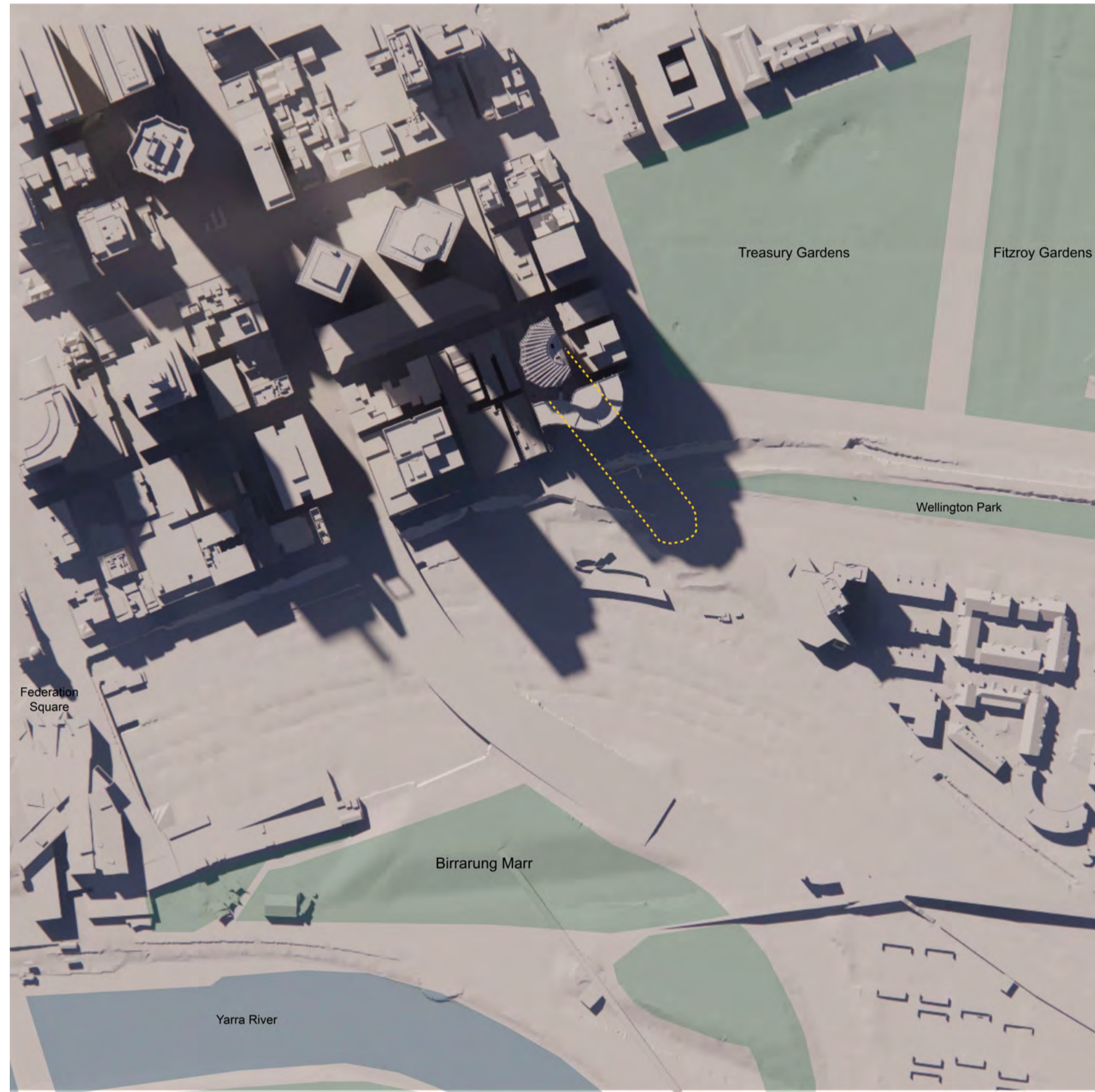
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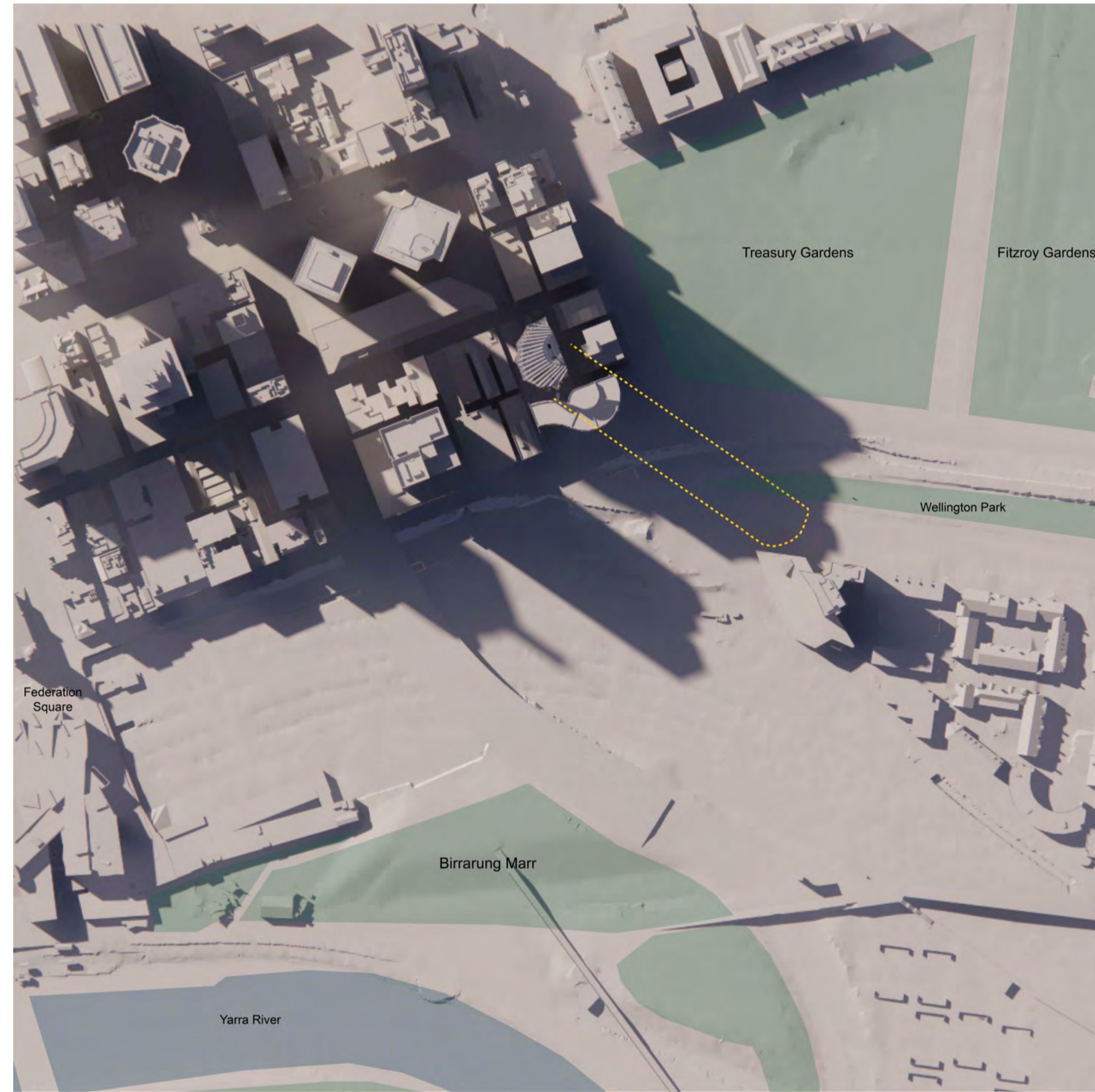
drawing
SHADOW DIAGRAMS -
SEPTEMBER

drawing no. **DA9600** issue **J**

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2PM - 22/09



3PM - 22/09



Additional Shadow By Proposed Development



Shadow By Proposed Development

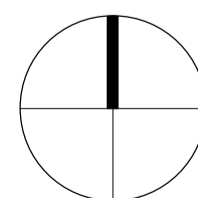
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checked	I+A	scale	
drawn	I+A	project no	190244

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project
1 SPRING STREET, MELBOURNE

drawing
SHADOW DIAGRAMS -
SEPTEMBER

drawing no. **DA9601** issue **J**

19/12/2022 12:59:53 PM



11AM - 22/04



12PM - 22/04



1PM - 22/04

 Additional Shadow By Proposed Development

 Shadow By Proposed Development

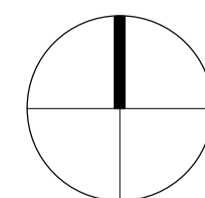
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checked	I+A	scale	
drawn	I+A	project no	190244

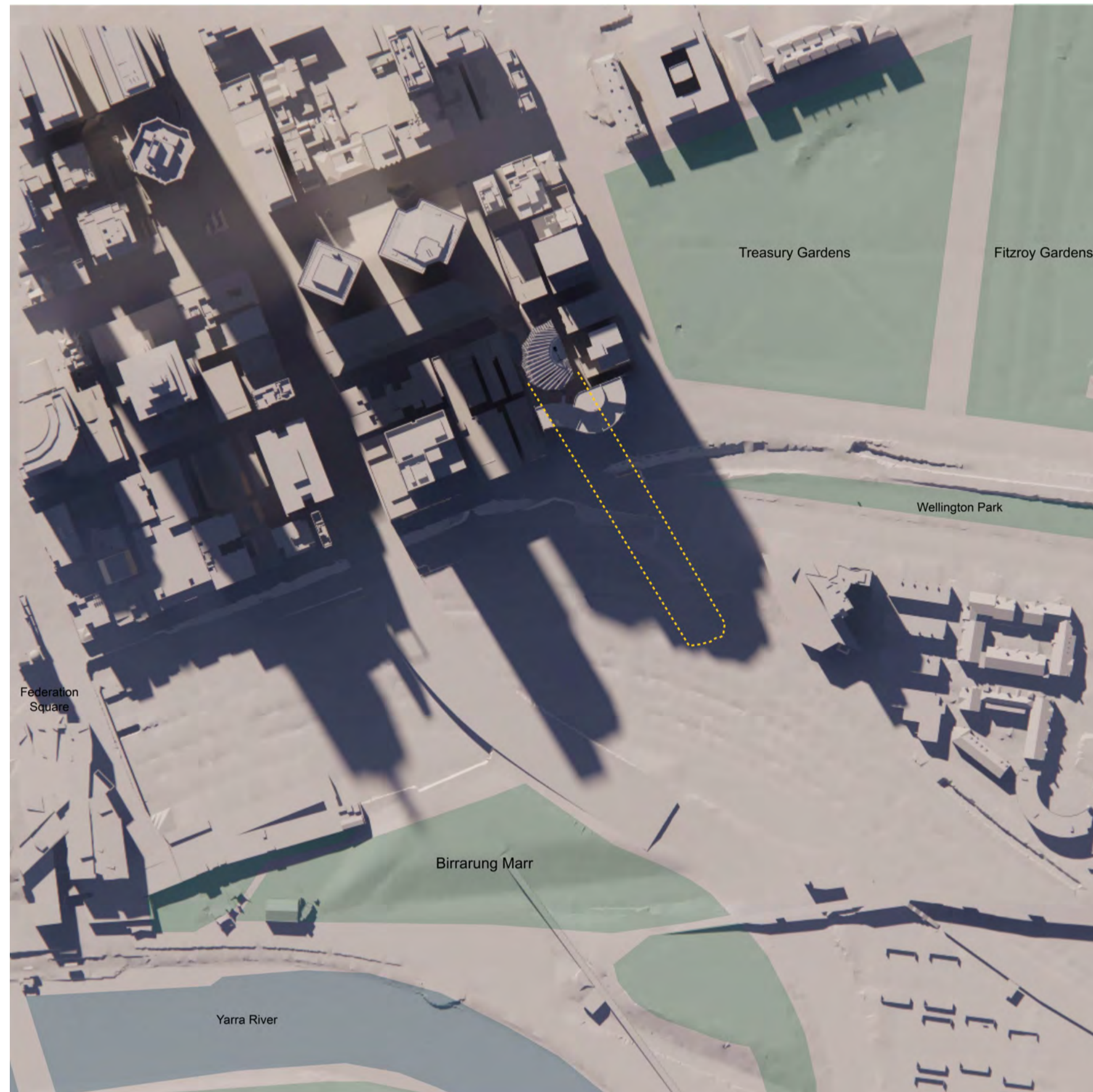
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ABN 90 131 245 684

project
1 SPRING STREET, MELBOURNE

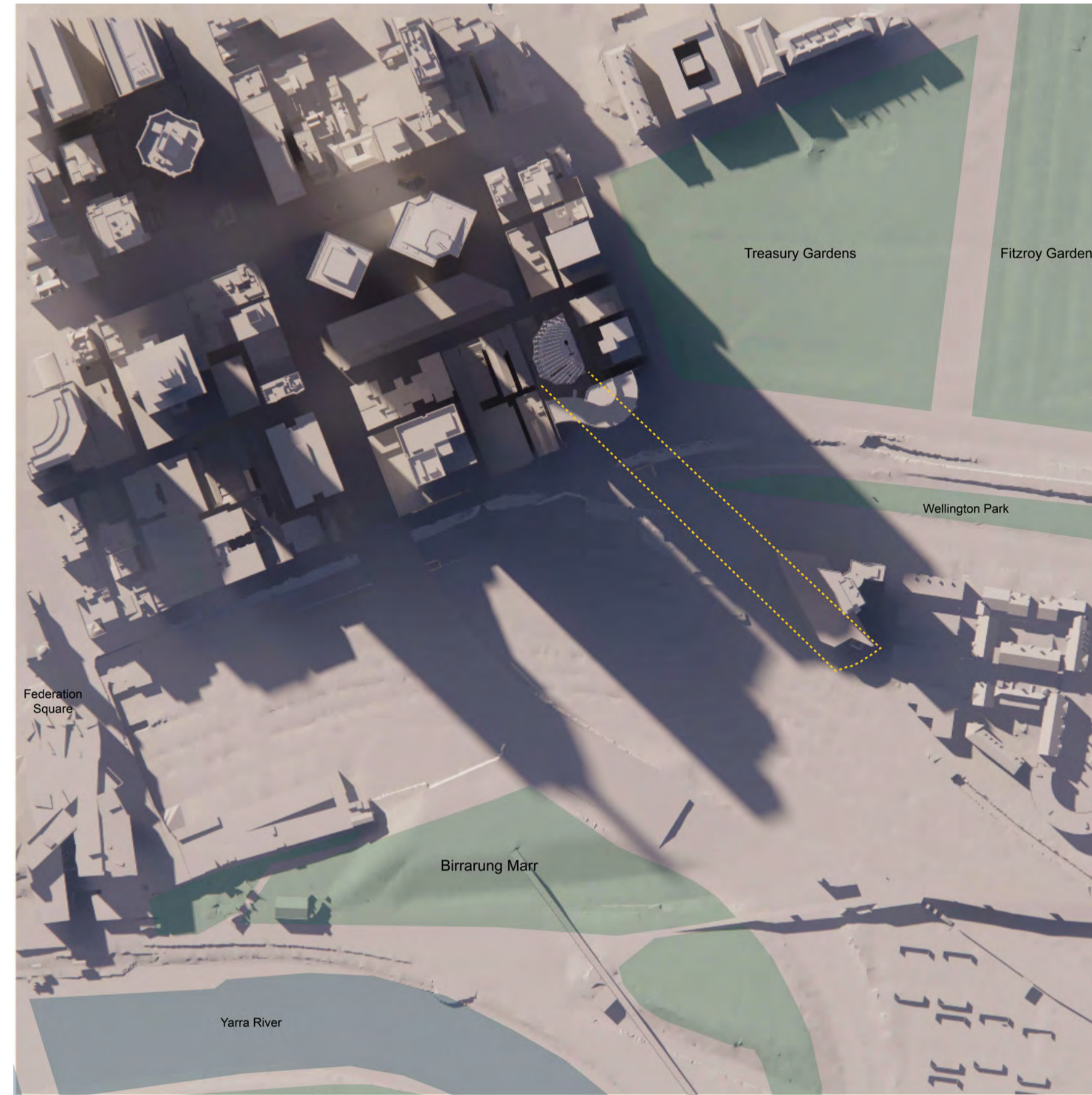
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SHADOW DIAGRAMS -APRIL

drawing no. **DA9602** issue **J**

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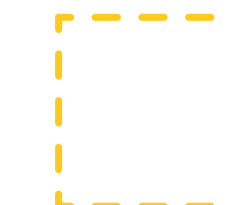
2PM - 22/04



3PM - 22/04



Additional Shadow By Proposed Development



Shadow By Proposed Development

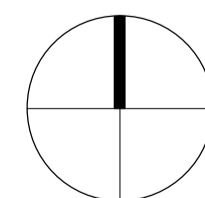
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drawn	I+A	project no	190244

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project
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drawing
SHADOW DIAGRAMS -APRIL

drawing no. **DA9603** issue **J**

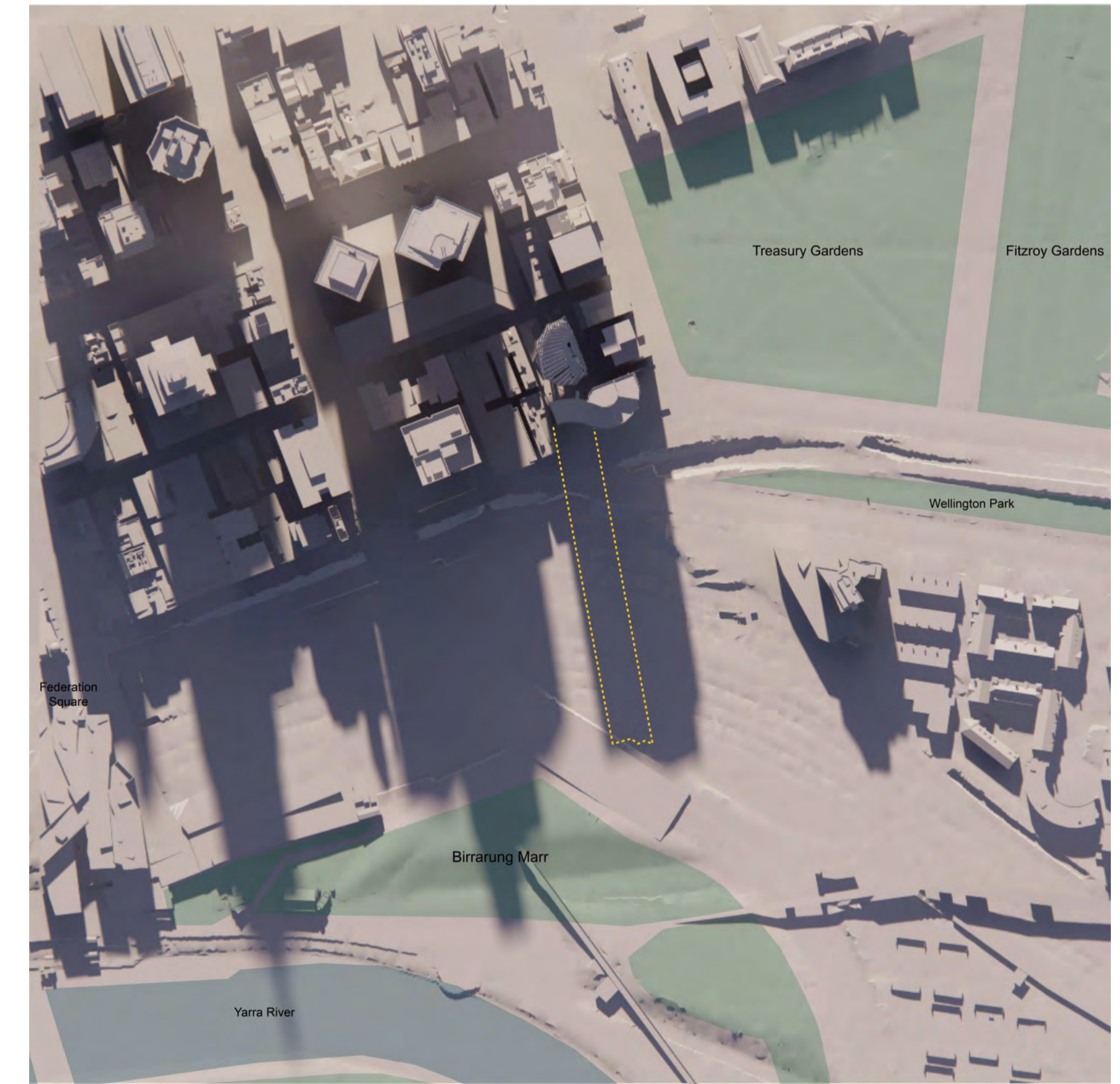
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11AM - 22/06



12PM - 22/06



1PM - 22/06

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 Shadow By Proposed Development

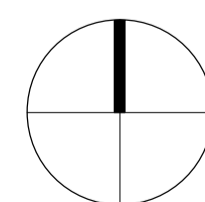
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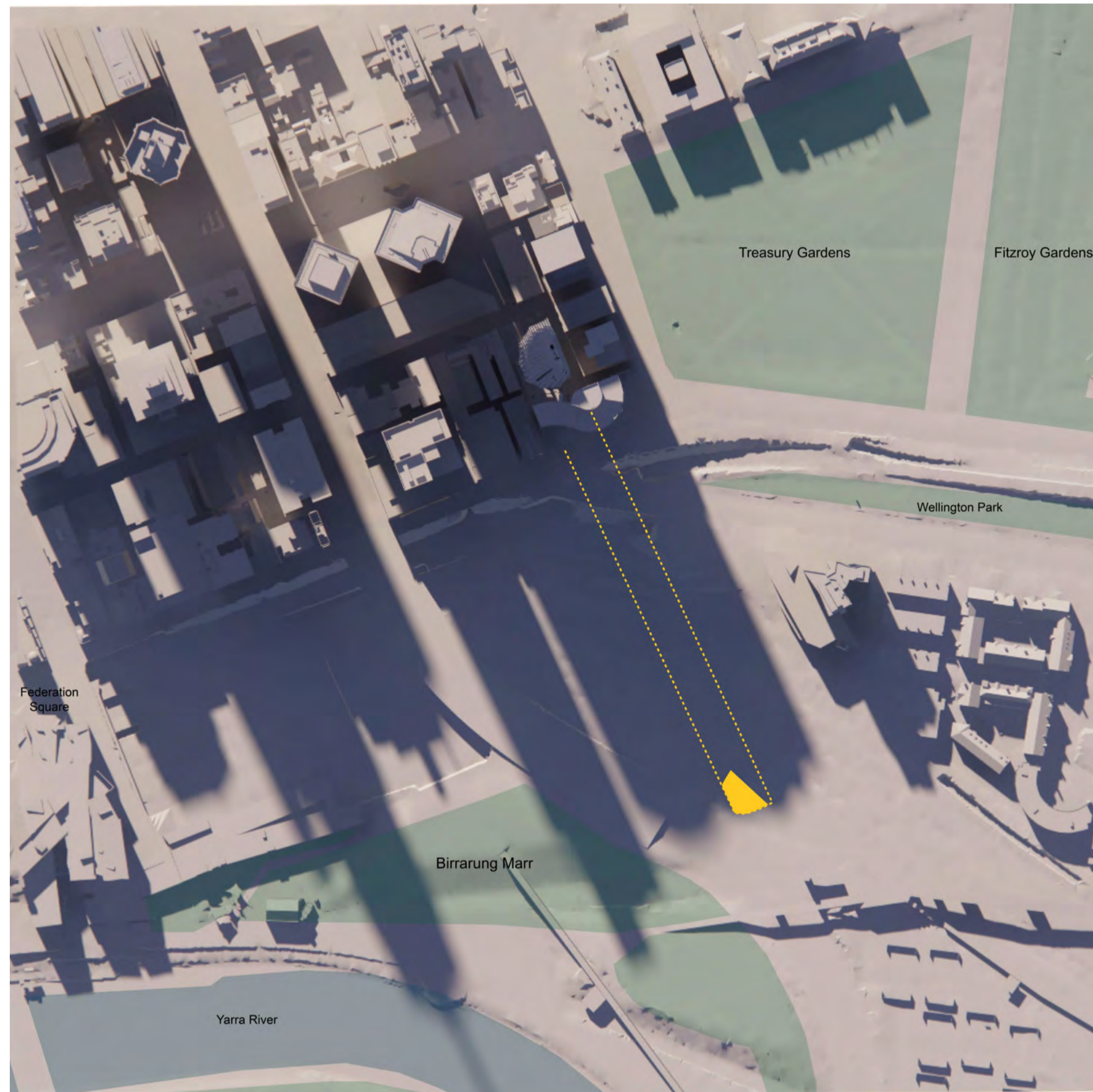
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drawn	I+A	project no	190244

project
1 SPRING STREET, MELBOURNE

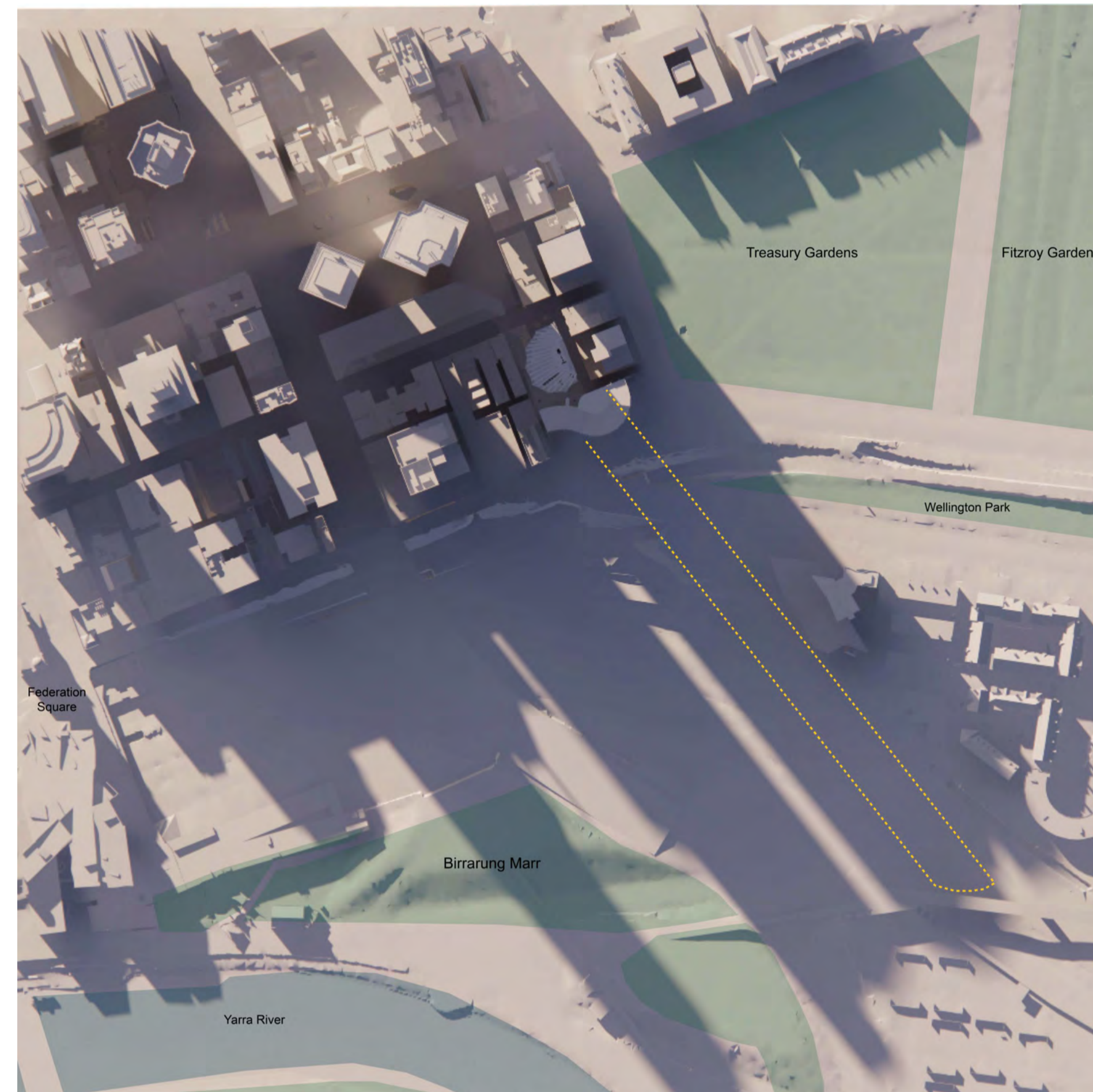
drawing
SHADOW DIAGRAMS - JUNE

drawing no. **DA9604** issue **J**

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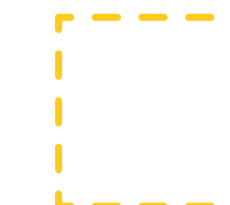
2PM - 22/06



3PM - 22/06



Additional Shadow By Proposed Development



Shadow By Proposed Development

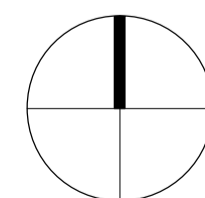
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checked	I+A	scale	
drawn	I+A	project no	190244

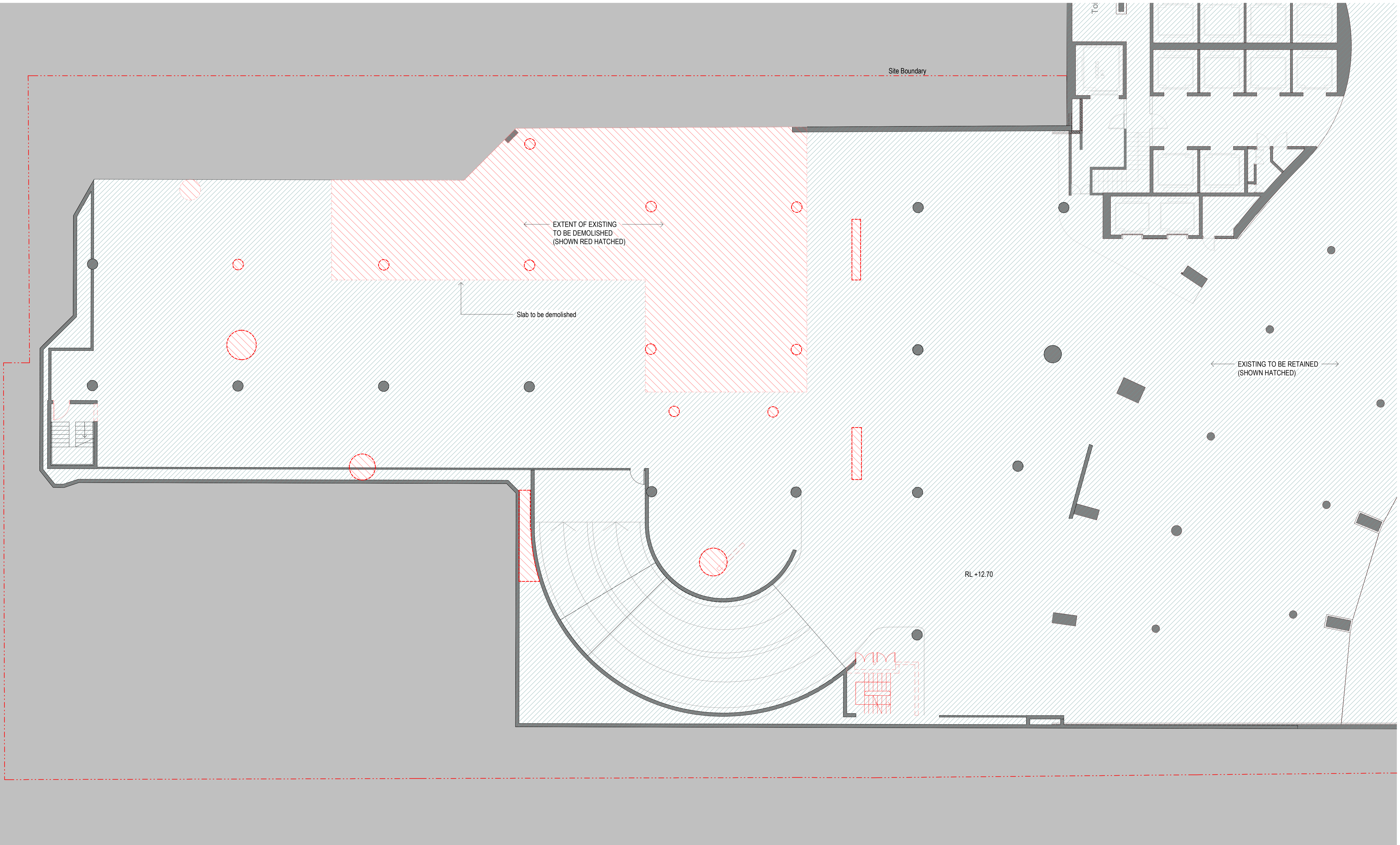
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project
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drawing
SHADOW DIAGRAMS - JUNE

drawing no. **DA9605** issue **J**

19/12/2022 1:03:11 PM

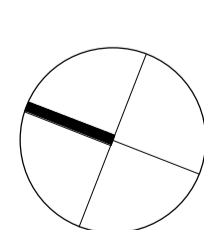


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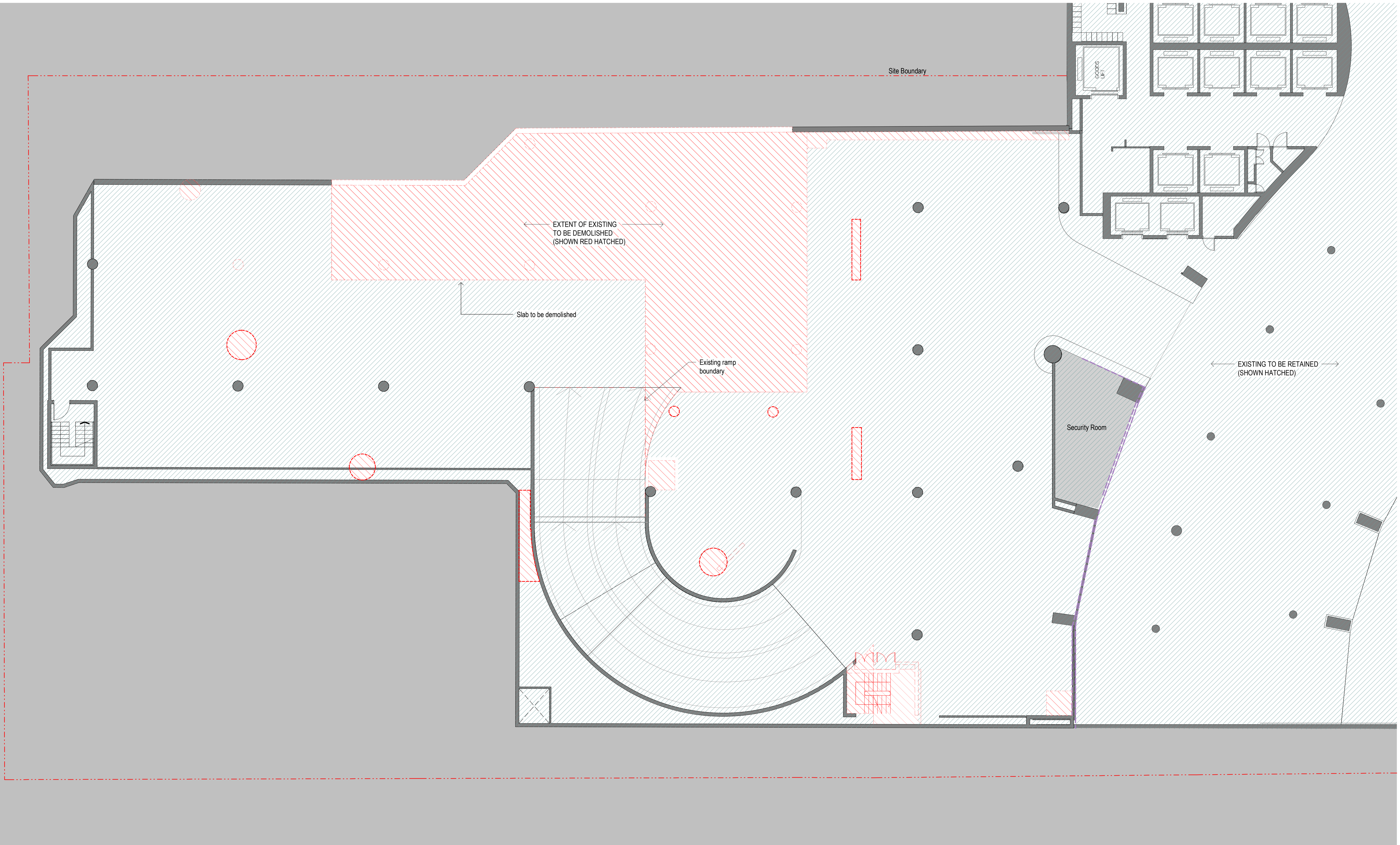
- Legend**
- Commercial High Rise
 - Commercial Low Rise
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 - Hospitality / Retail
 - Lobby / End of Trip (EOT)
 - Plant / BOH Services
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 - Roof Terrace
 - External Terrace / Porphyry
 - Landscape area

- Proposed Walls
- Existing Walls
- Site Subdivision & Fire Separation Line
- Proposed Demolition walls

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checked	I+A	scale	1 : 100@A1
drawn	I+A	project no	190244

project	1 SPRING STREET, MELBOURNE
drawing	DEMOLITION P5
drawing no.	DA9700
issue	J
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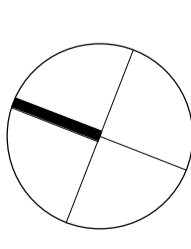


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drawn	I+A	project no	190244

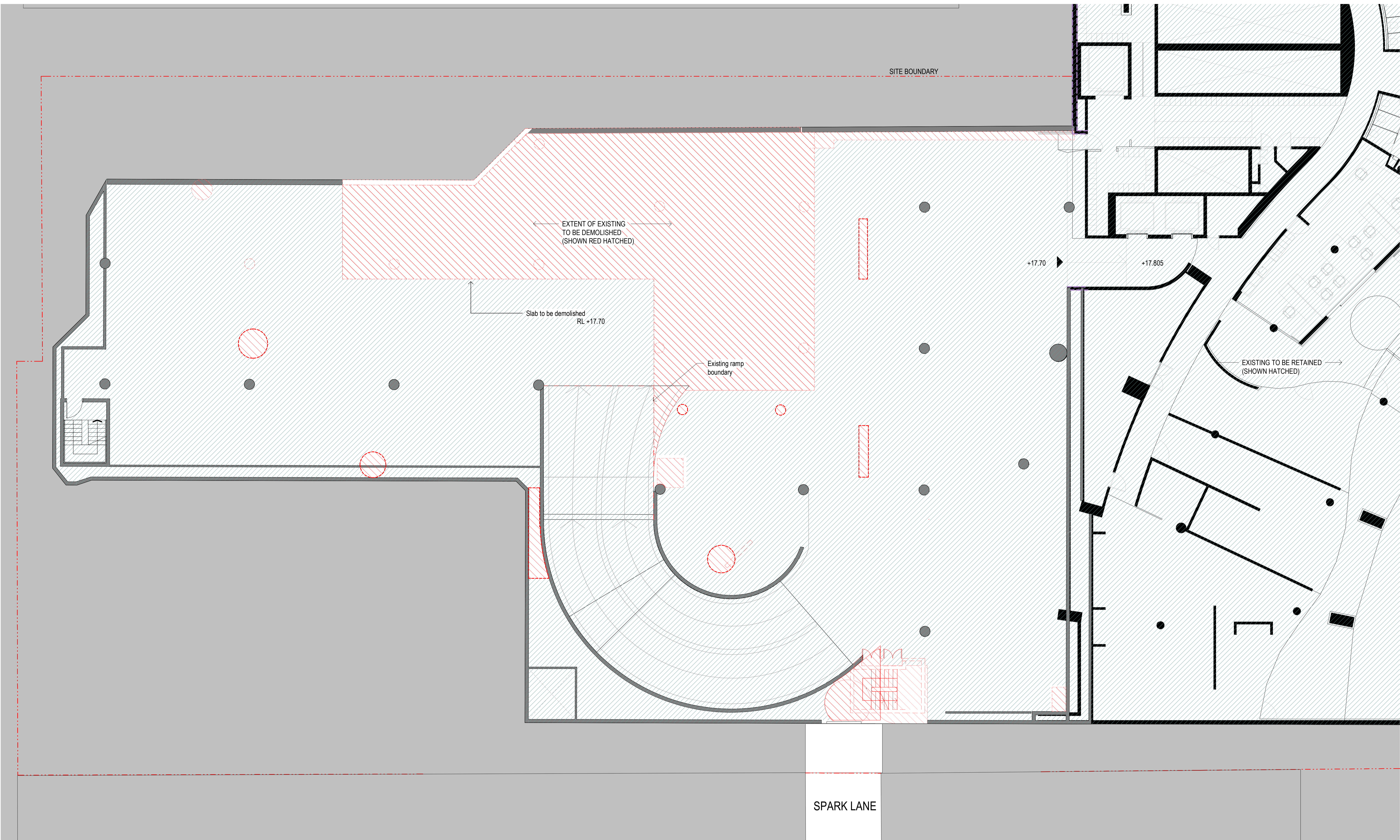
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 1 SPRING STREET, MELBOURNE

drawing
 DEMOLITION P4

drawing no.
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issue
J

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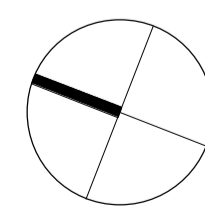
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drawn	I+A	project no	190244

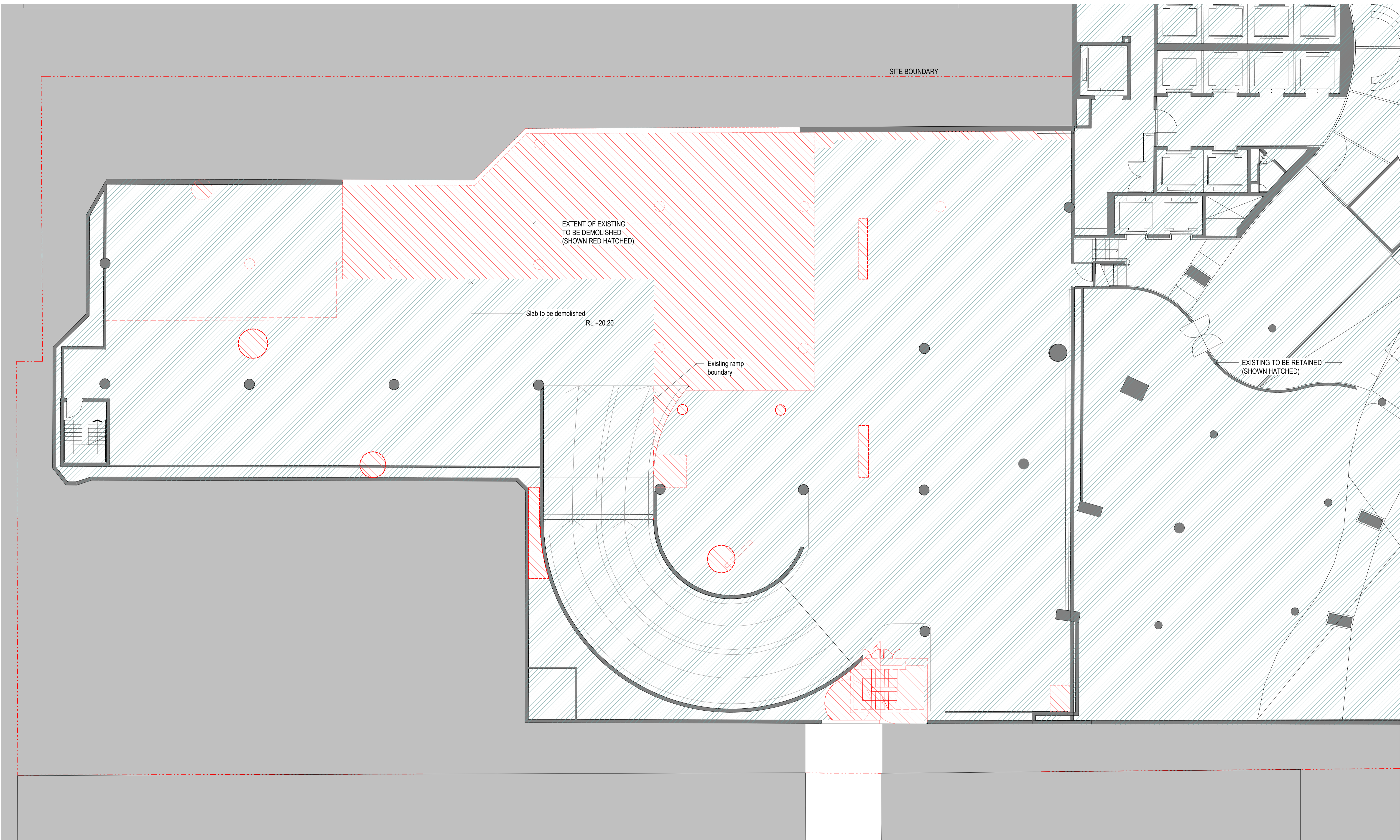
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project
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drawing
DEMOLITION P3

drawing no. **DA9702** issue **J**

19/12/2022 1:03:54 PM



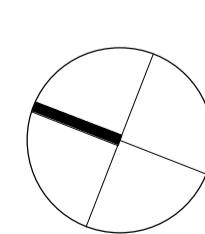
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drawn	I+A	project no	190244

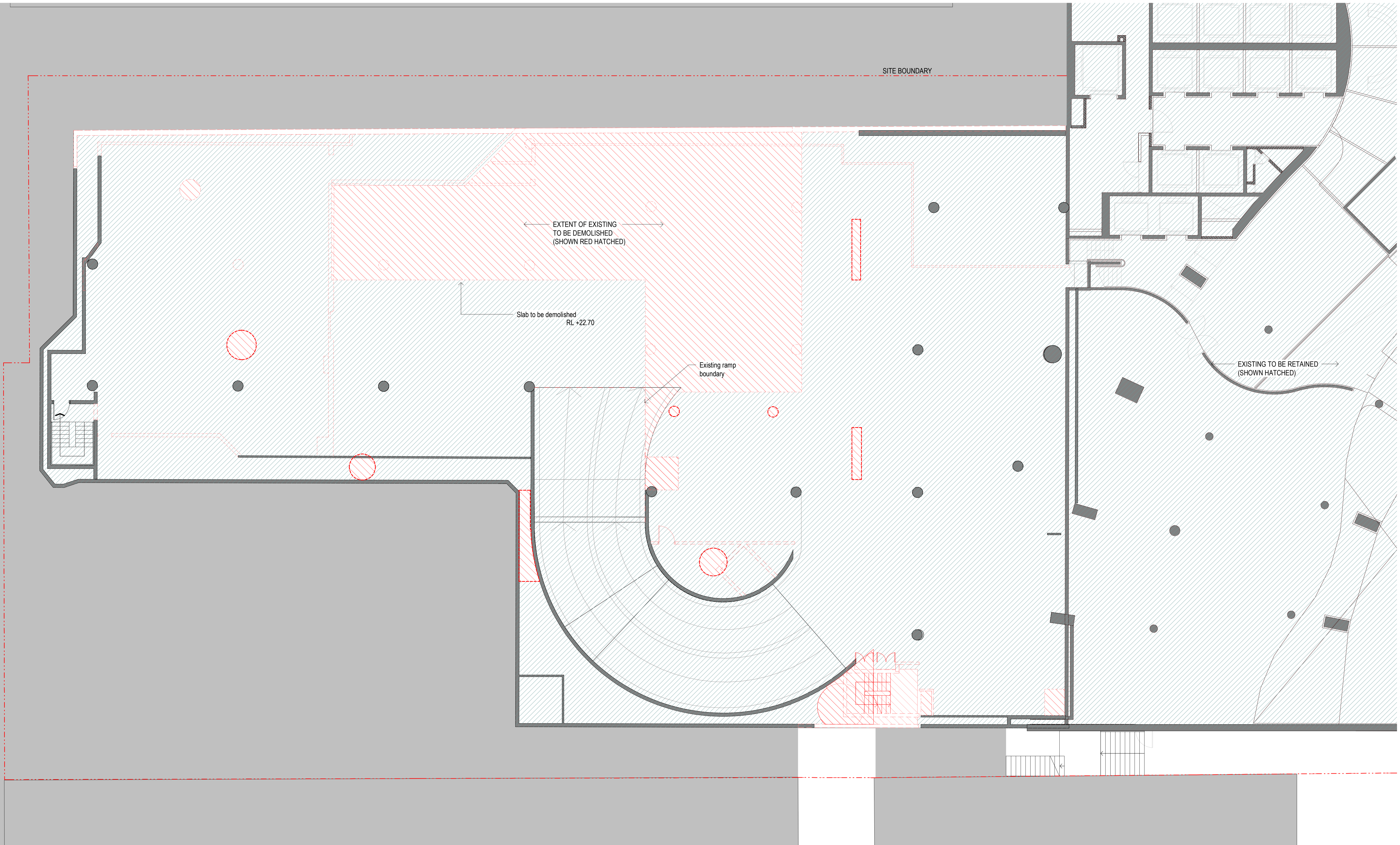
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drawing
DEMOLITION P2

drawing no.
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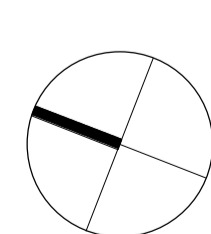
issue
J

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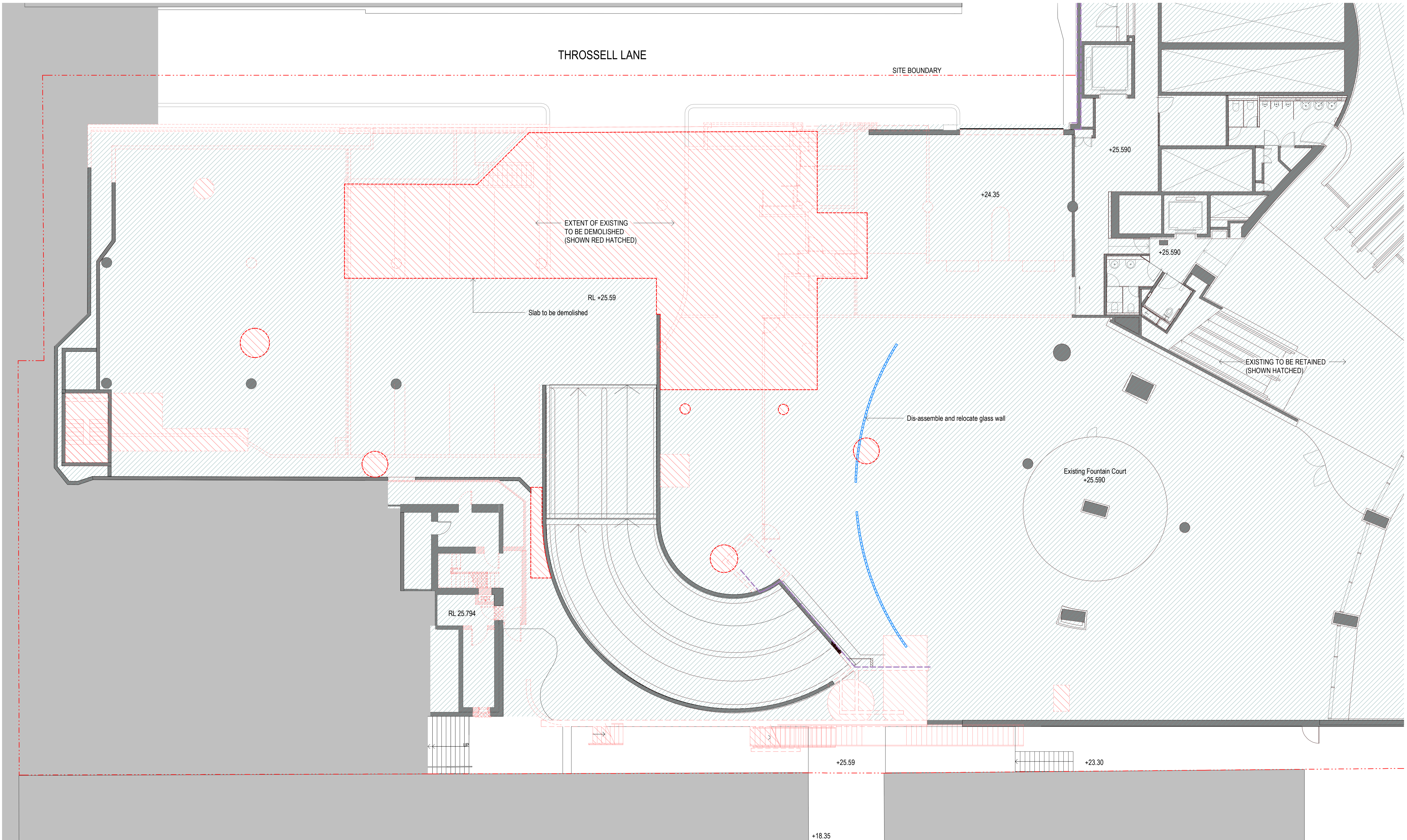
drawing
DEMOLITION P1

checked I+A scale 1 : 100@A1
 drawn I+A project no 190244

drawing no. **DA9704** issue **J**

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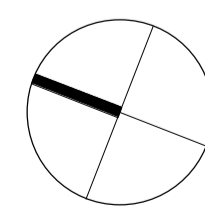
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drawn	I+A	project no	190244

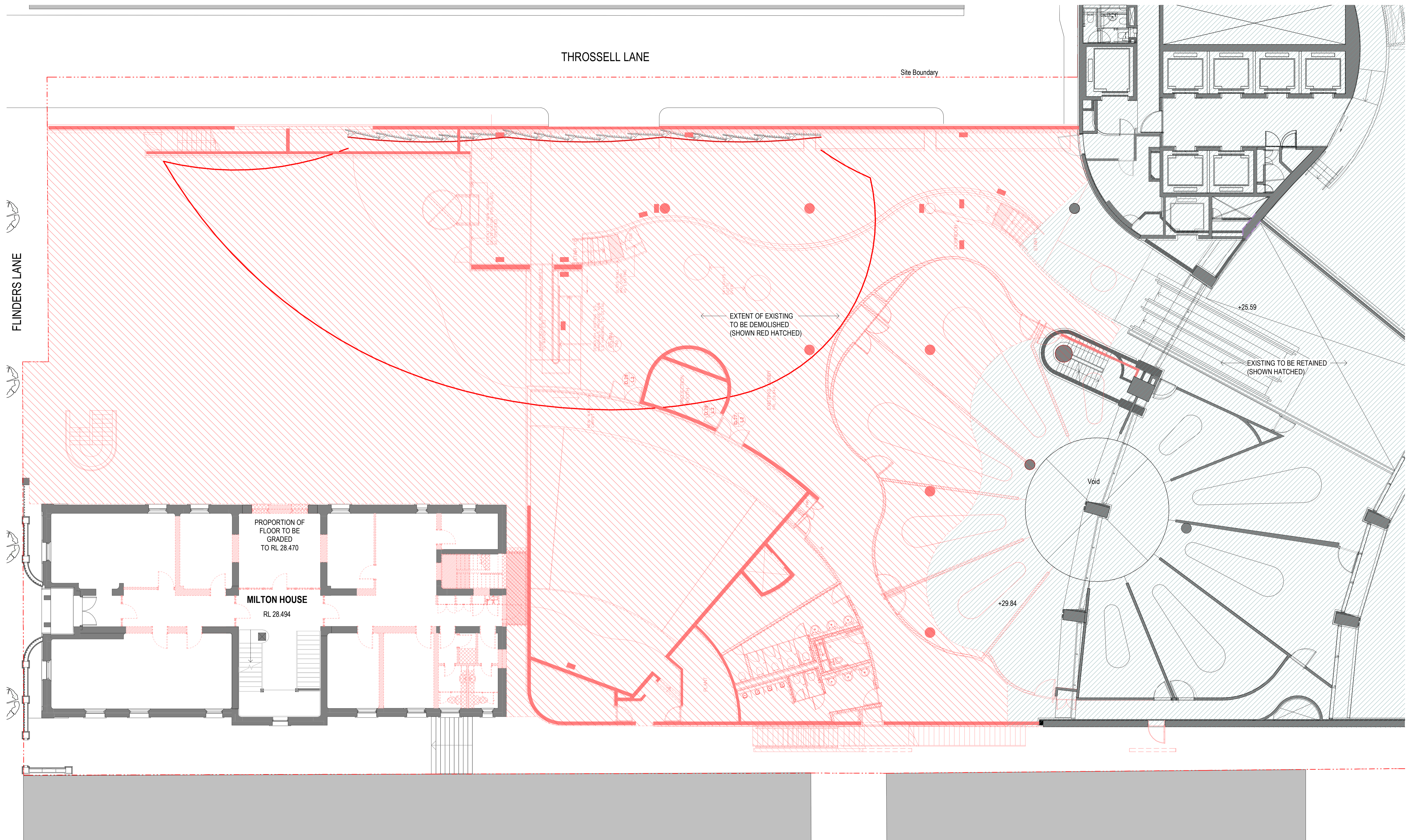
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project
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drawing
DEMOLITION LEVEL 1

drawing no. **DA9705** issue **J**

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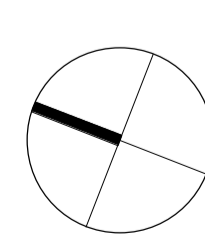
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drawn	I+A	project no	190244

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project
1 SPRING STREET, MELBOURNE

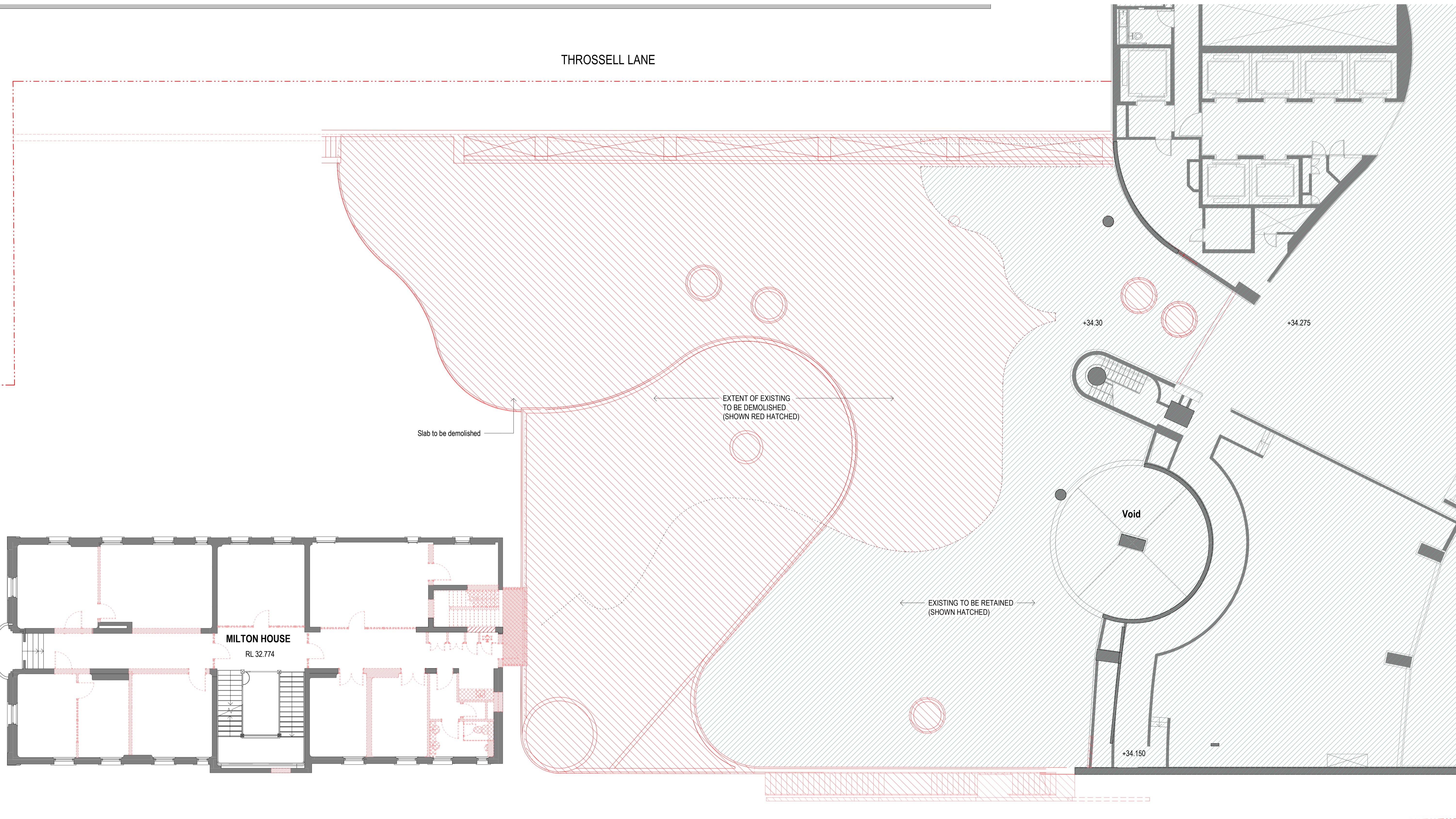
drawing
DEMOLITION LEVEL 2

drawing no. **DA9706** issue **J**

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THROSSELL LANE

FLINDERS LANE



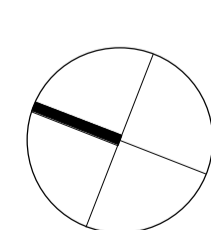
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checked	I+A	scale	1 : 100@A1
drawn	I+A	project no	190244

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project
1 SPRING STREET, MELBOURNE

drawing
DEMOLITION LEVEL 3

drawing no. DA9707 issue J

19/12/2022 1:04:48 PM

FLINDERS LANE

THROSSELL LANE

OUTSIDE OF APPLICATION SCOPE

FOR DEMOLITION SCOPE AREAS REFER TO LEVEL BELOW (DEMOLITION LEVEL 03 PLAN)

MILTON HOUSE DEMOLITION SCOPE

MILTON HOUSE
RL 37.404

SPARK LANE

NOTE:
1. Area shown are indicative only
2. Core layout shown is indicative only
3. Areas and core layout are subject to change through design development, services input and structural coordination

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Do not scale drawings. Verify all dimensions on site

issue	amendment	date
J	Advisory Panel Documentation	13/01/2023

Legend

- Commercial High Rise
- Commercial Low Rise
- Co-working Spaces
- Hospitality / Retail
- Lobby / End of Trip (EOT)
- Plant / BOH Services
- Theatre / Prefunction / Meetings Rms
- Roof Terrace
- External Terrace / Porphyry
- Landscape area

- Proposed Walls
- Existing Walls
- Site Subdivision & Fire Separation Line
- Proposed Demolition walls

ingenhoven + architectus™

Seidler

checked	I+A	scale	1 : 100@A1
drawn	I+A	project no	190244

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project

1 SPRING STREET, MELBOURNE

drawing

DEMOLITION LEVEL 4

drawing no.

DA9708

issue

J

19/12/2022 1:05:00 PM

4. Planning Response

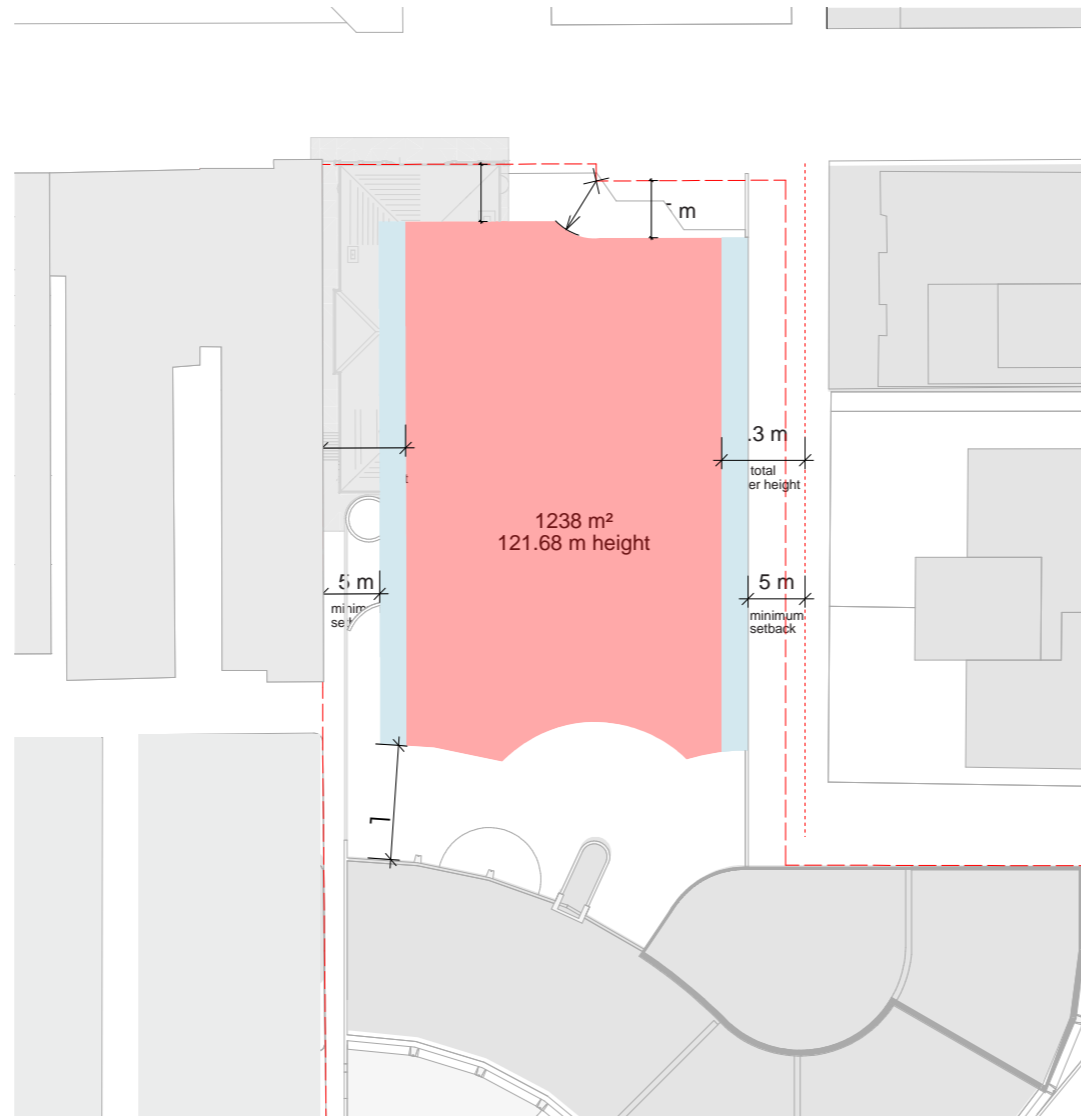
4. Planning Response

4.1 Planning Controls - Allowable & Modified Floorplates

The diagrams to the right apply the current planning controls as defined by DD010 and as advised by the team's planning consultant URBIS.

The controls have been shown for two tower volumes on the existing site (1 Spring Street and the new tower to the rear) with boundary setbacks and tower separation as per the controls.

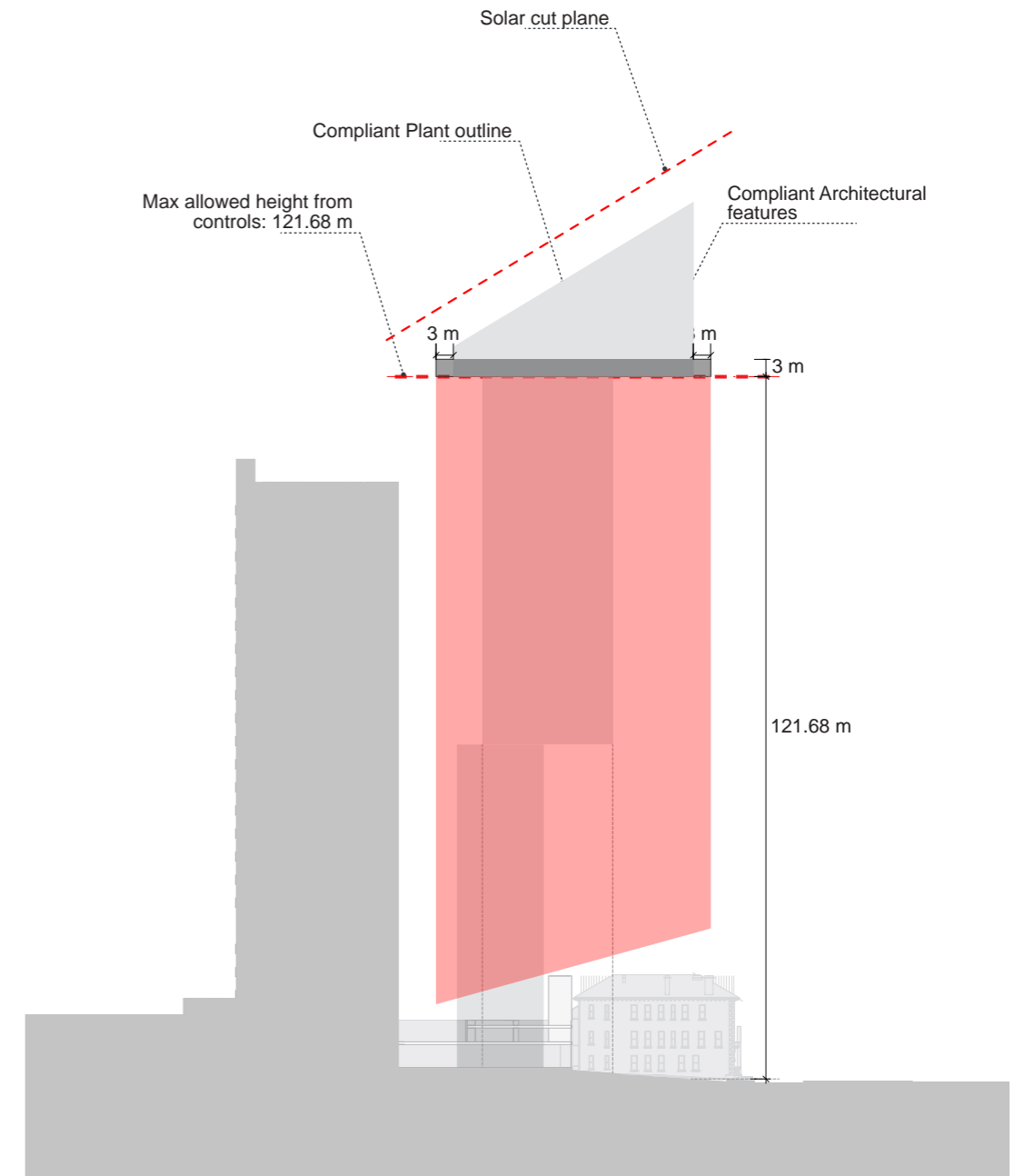
The maximum floor plate and the maximum nominated building height all sit within the controls (overshadowing to Birrarung Marr or Treasury Gardens) and have been established to provide a sufficient commercial floor plate for a PCA-A Grade building while responding to a sensitive heritage context in an appropriate manner.



Maximum floor plate size

The maximum floor plate size has been defined in accordance with DD010 controls and is based on the maximum height of 121.68 m (from mid-point along Flinders Lane frontage) which corresponds to 7.3 m setback (6% of height).

The resultant floor plate equates to 1,238 m² gross floor area and features minimum 5 m setback to all street boundaries (7.3 m has been used to calculate the size) and 10 m (5+5 m) to the existing Tower (1 Spring Street.).



Maximum nominated height

The Tower's maximum nominated height sits well within the maximum height determined by overshadowing parameters in DDO10 (overshadowing over Birrarung Marr in this particular case).

The maximum nominated building height is a factor of maximum floor plate and setbacks (7.3 m nominated to sides) which results in height of 121.68 m. The roof plant has been envisaged to reflect the slope defined by the solar envelope with the architectural roof features extending in accordance with the requirement of DDO10.

4. Planning Response

4.2 Massing

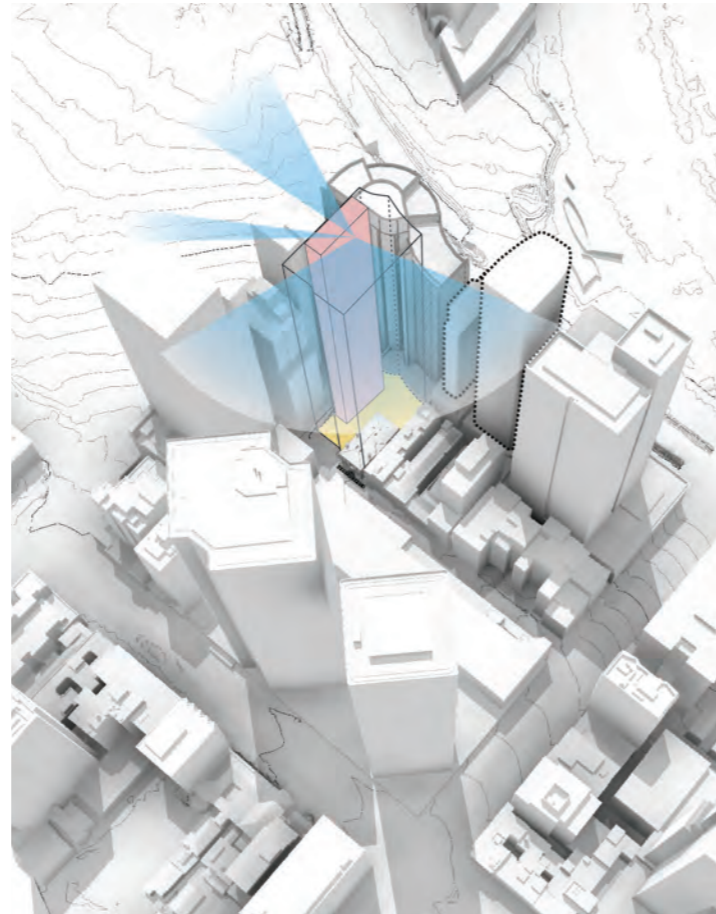
The statutory town planning controls and DDO10 building envelope does allow for flexibility to the tower shapes. It is important to establish a volume that is not only informed by setbacks, the envelope and surrounding buildings, but seeks a resolution of a shape that appears as an elegant landmark in the city skyline.

The architectural team has studied and tested a number of different massing options which complied with the statutory envelope. The options tested satisfied the project design criteria and were assessed as a reasonable and responsible response under the Statement of Design Intent (page 3).

The aim, to define a solution that not only appears slender and elegant but also takes advantage of the views, provides generous contiguous floor plates while optimising the form to respond to the heritage interfaces and neighbouring buildings.

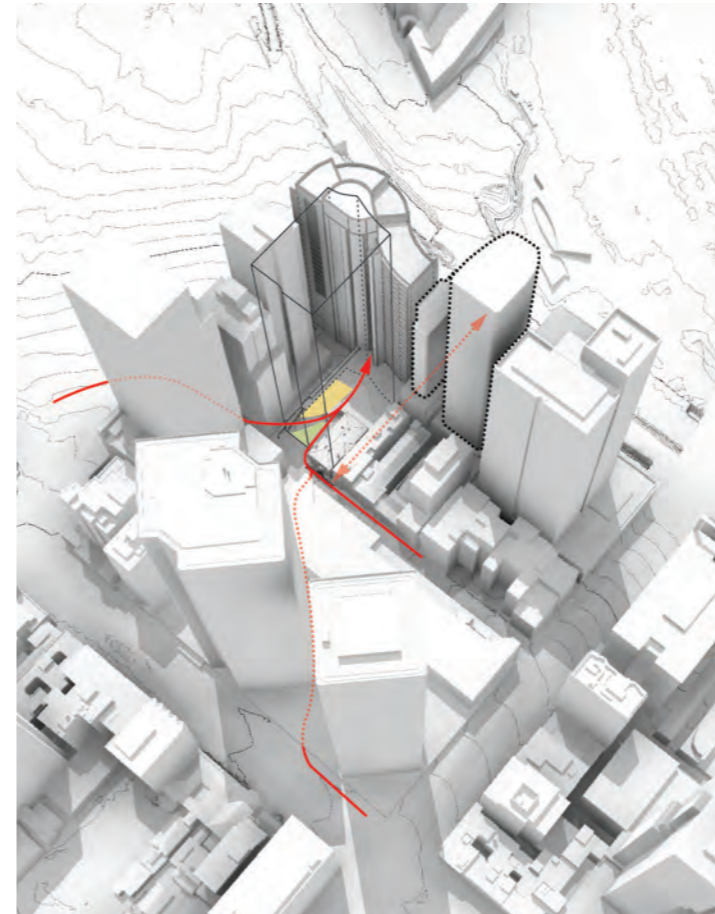
1 Spring Street Tower 2, is sited as a 'friendly neighbour' creating an urban ensemble of contemporary and heritage buildings. The shape is derived from statutory envelope requirements, respecting the heritage interfaces, setback requirements, other statutory parameters and site constraints.

The core has been positioned to allow for the optimum floor plate, taking advantage of the views while enhancing through-site link and ground plane interfaces.



Statutory envelope and views

By carving the design out of the statutory envelope, respecting the setback requirements and other statutory parameters and area requirements, whilst maintaining the connectivity and views predominantly towards the north and north-west.



Connectivity

At pedestrian level, the proposal creates a lively public and urban connection between Flinders Lane and Spring Street plaza.



Solar orientation

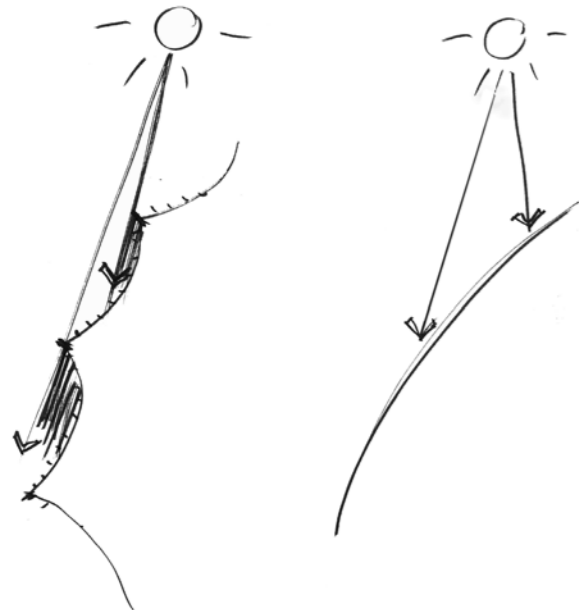
The floor plate orientation, shape and side core arrangement are achieving the best balance of solar gain in the winter months with a self-shading envelope for protection in the summer.

4. Planning Response

4.3 Form Finding

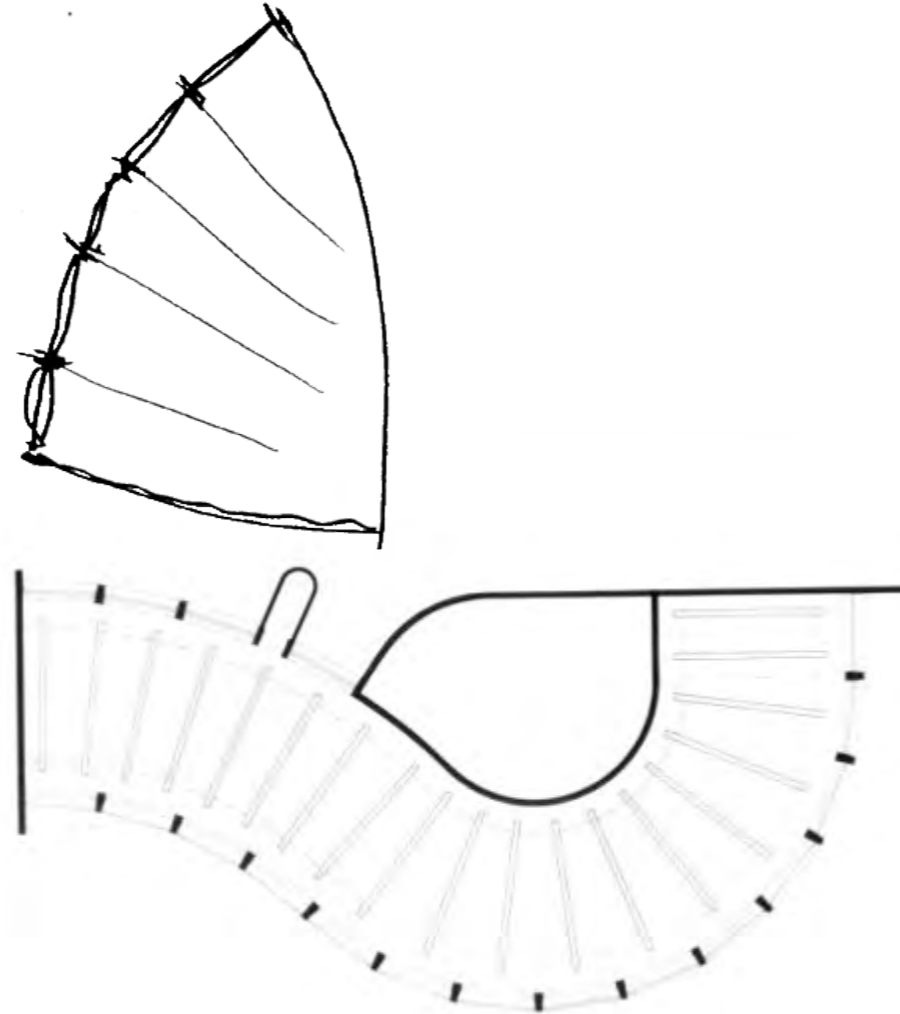
Responding to the heritage context of Tower 1 and Milton House, the organic, curved shape has informed the architectural language of Tower 2.

The massing form is derived from and responds to both the site orientation and outlook towards the north and north-west, whilst also being manipulated to provide breathing space to respect the heritage interfaces of Milton House and Tower 1.



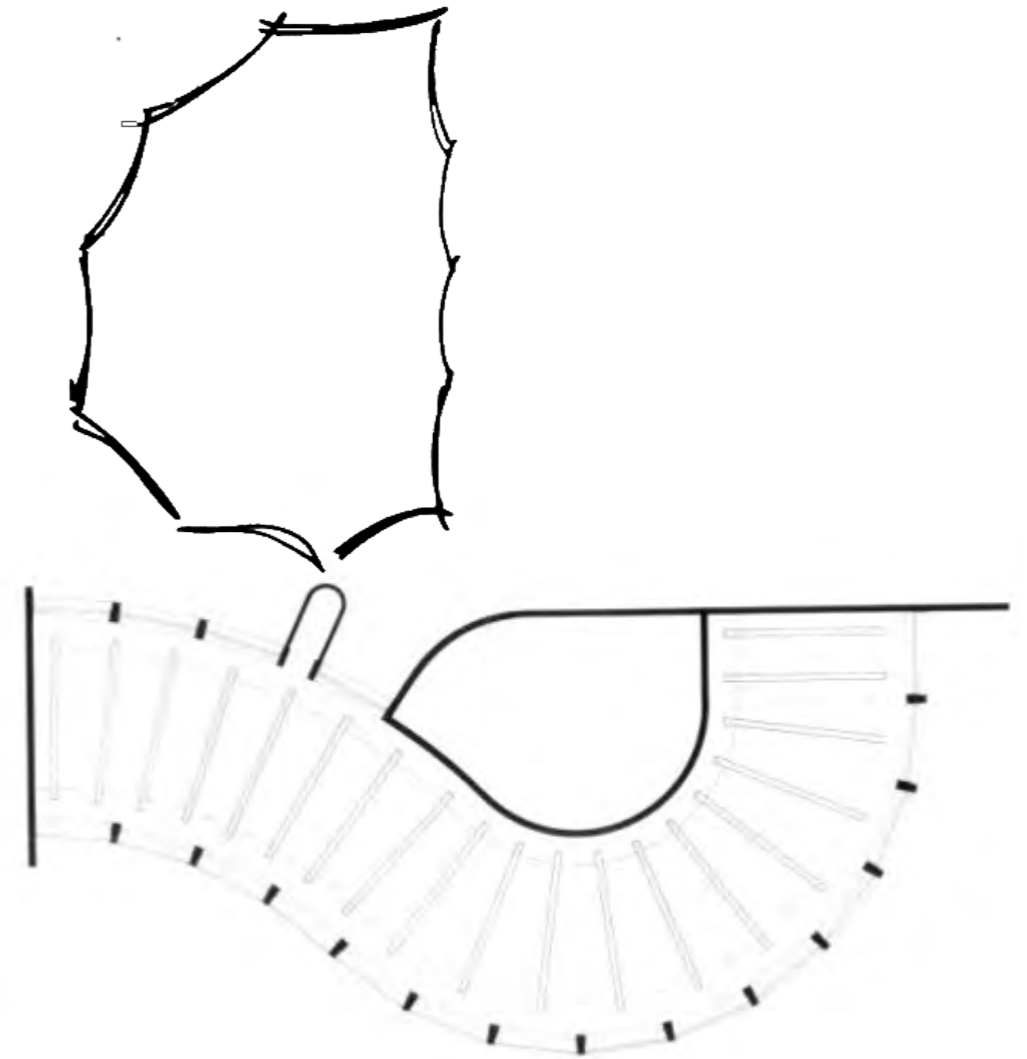
Concept

Illustration of enhanced façade self-shading



Form

The shape is derived from a new interpretation of the existing Harry Seidler design with regards to its rhythm, yet acts as a 'friendly neighbour' with an appropriate distance between old and new.



Enhanced Form

The shape is further enhanced by shaping the façade segments concave, providing a unique identity of the tower.

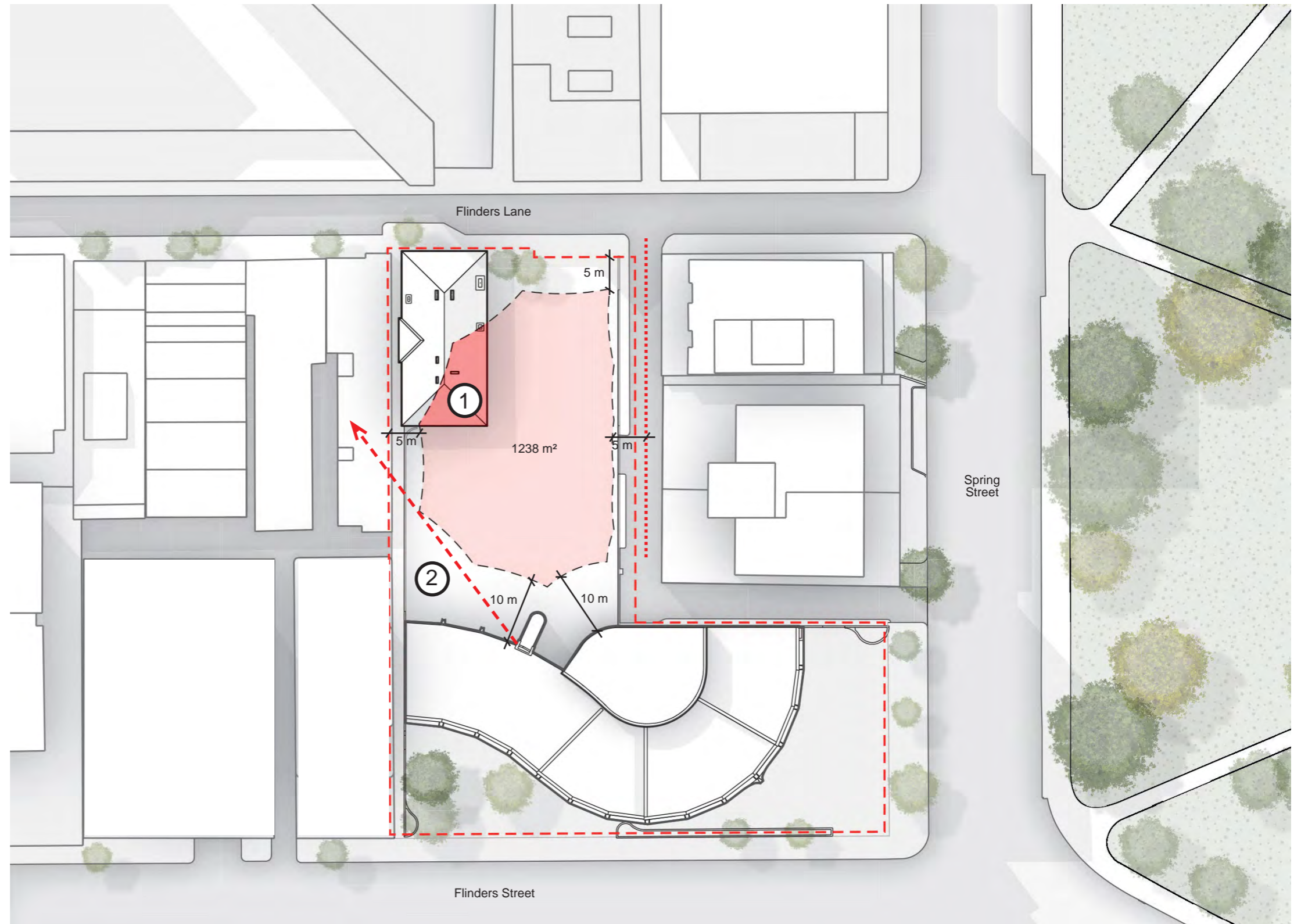
4. Planning Response

4.4 Planning Response

The massing of Tower 2 has been carefully considered, responding to the heritage context of Tower 1 and sweeps in a gentle curve, providing breathing room to Milton House. Both Tower 1 and Milton House form an essential heritage component response to the public realm being created.

Tower 2 has been designed to sit respectfully with Harry Seidler's Tower 1. Views to the façade of Tower 1 are maintained from several Flinders Lane vantage points, by redistributing the tower mass towards the rear of the site.

Set-backs and 10 metre separation of the primary façades of the two towers has been implemented to avoid impacting the legibility of Tower 1's sweeping curves and forms. A key advantage from redistributing the tower mass, minimises the projection over Milton House. Ensuring Milton House is able to be appreciated as an object on the site is key to respecting the heritage building and the interfaces with Tower 2.



- ① Maximise setback over Milton House
- ② Increase aperture to 1 Spring Street Tower 1 by sculpting the corner

4. Planning Response

4.5 Planning Requirement - C308 and DD01

The proposed development has taken into consideration amended DDO1 Active Frontage requirements with expanded application to the Special Character Areas as defined through Amendment C270. A more detailed response to DD01 has been provided in a separate report, prepared by Urbis, however the following items are some of the key highlights relating to the proposed controls:

Urban Structure

- **Pedestrian connections** have been retained and strengthened with the creation of a new activated, publicly accessible plaza with future provision for integration into reinvigorated Spark Lane.
- **Walkability of the block** has been considered in the design of the plaza elements to assure simple and equitable pedestrian connectivity.

Site Layout

- **100% of public space** has been retained and increased by over 45% (62% increase including retail).
- **Building entry** has been provided along the eastern boundary of the plaza providing activation both on Level 02 and 03 by virtue of a two-storey lobby.

Building Mass

- **Diversity of Forms** has clearly been demonstrated with a design that is both complementary and respectful of its context while being clearly distinct.
- **Response to Heritage Buildings** has been the main driver generating the design, with the tower form gently sweeping over Milton House taking design and tectonic clues from the existing Tower 1.

Building Program

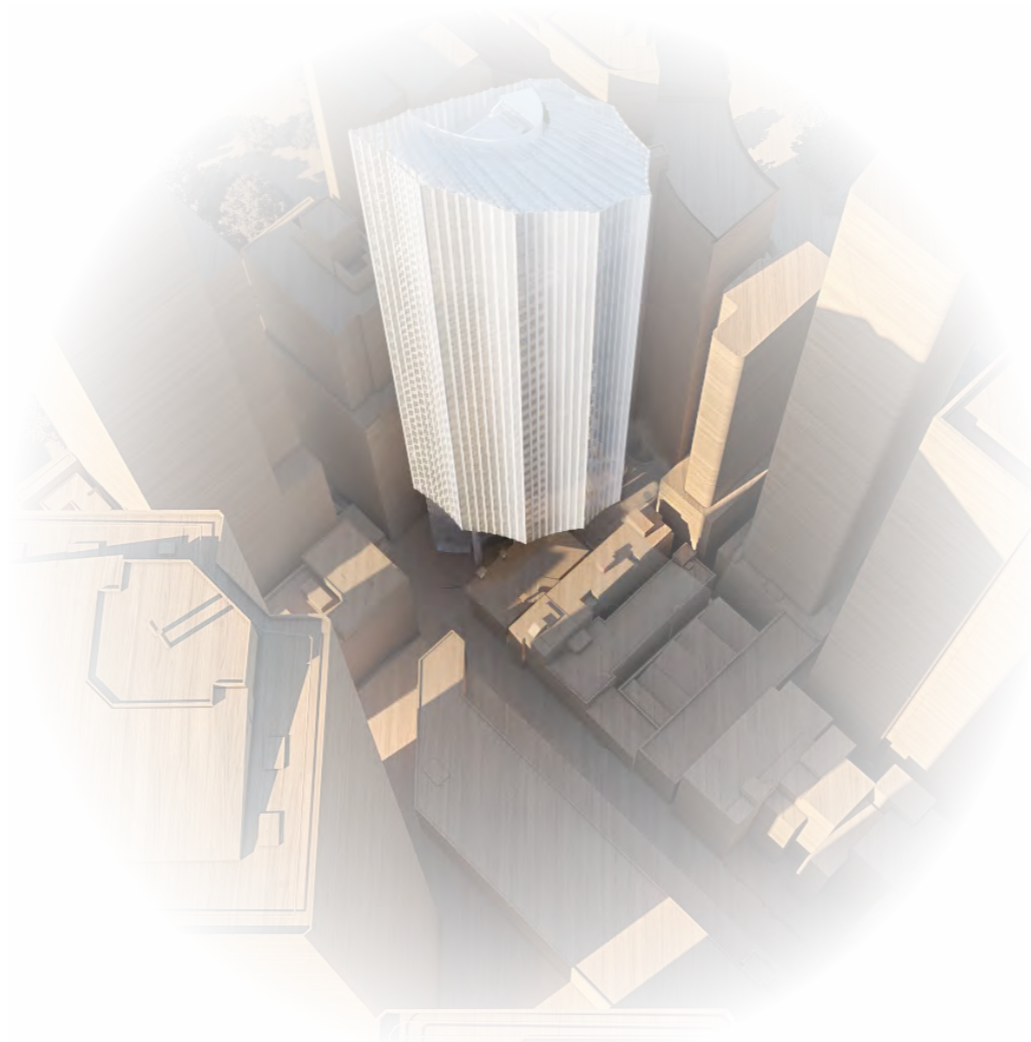
- **Active Uses** have been provided through the entire ground plane, maximising activation by utilising topography to locate service zones below ground.
- **Vehicular Parking** has been entirely located within the basement which also houses new end-of-trip facilities to serve Tower 2.

Public Interfaces

- **Min. 80% of length active** (100% provided) frontage has been achieved through redevelopment of Milton House and substantial upgrade of the public domain and landscaped plaza.

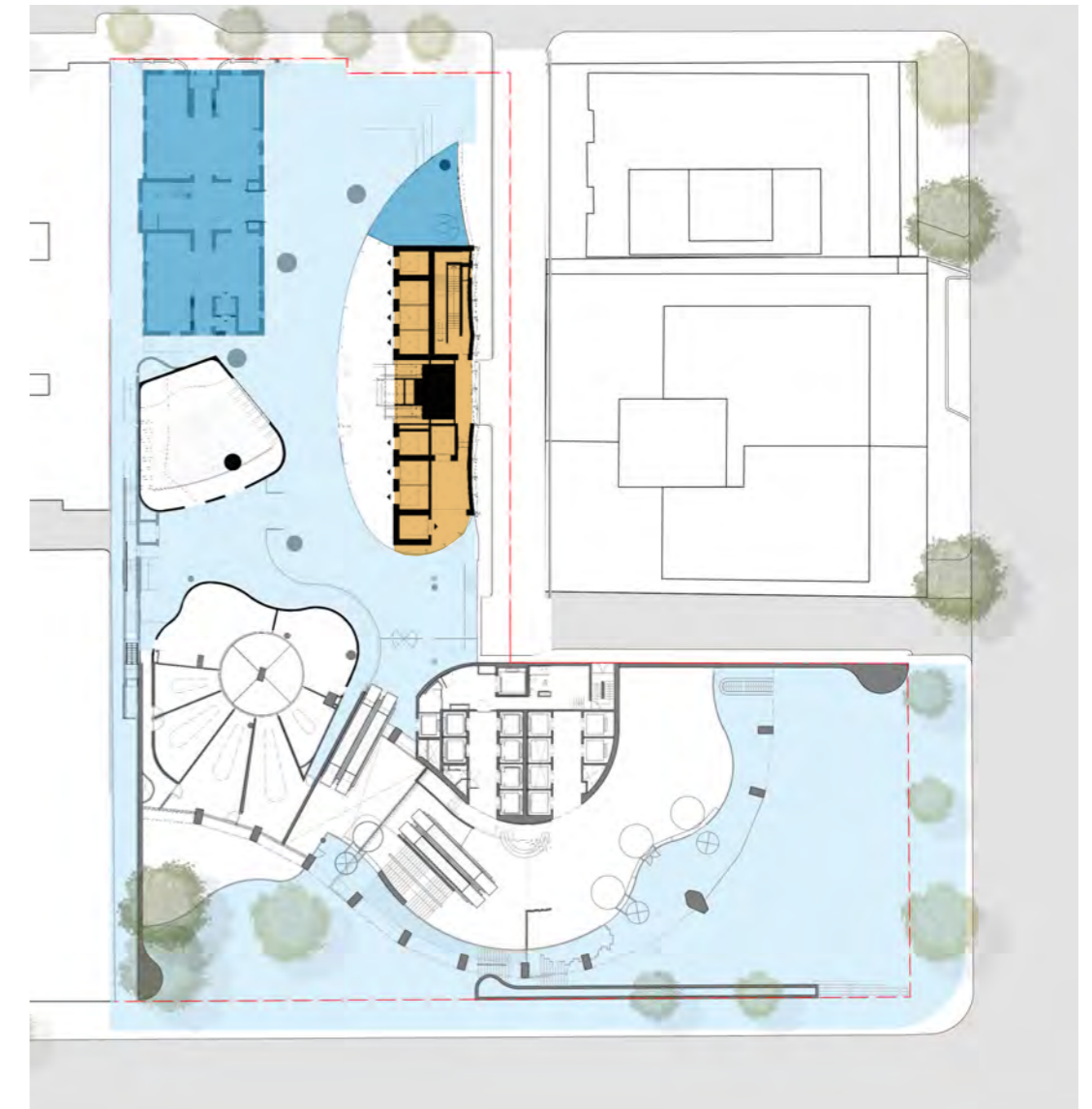
Building Services

- **The limitation of the area of building services** (40% max. - 3% provided) has been achieved within a ground floor plan by locating all key service elements below ground through use of natural site topography and slope along Throssell Lane.



Tower mass

The tower mass clearly shows a delicate insertion of a distinctly different form that is complementary to its urban context and respectful to heritage.



Ground level (03) plan

The plan indicates the amount of publicly accessible space (light blue: public realm; dark blue: accessible retail space) compared to the service zone (coloured amber) which was minimised through locating the majority of service spaces either in the basement or on the roof.

4. Planning Response

4.6 Street Activation

The introduction of the second tower and replanning of the Flinders Lane component of 1 Spring Street will transform the eastern end of Flinders Lane. The revitalised external plaza will act as a refuge and place of rest in an otherwise street front-aligned city block of Flinders Lane. Introduction of points of retail activation will assure that the public plaza space is vibrant and lively, which together with consideration of environmental conditions will allow for year-round utilisation.

The proposed publicly accessible plaza is reminiscent of international exemplars of 'Pocket Parks' such as New York's Paley Park designed by Zion Breen Richardson Associates or Greenacre Park by Hideo Sasaki.

The introduction of Tower 2 with its lobby and active podium elements will revitalise the public plaza space drawing 1 Spring Street into the intensified activity of the Flinders Lane precinct of the city. Currently separated, No.1 Spring Street will be further enlivened as part of the new development hub.



Aerial view of proposed streetscape revitalisation showing additional activation nodes and landscape elements

- Existing retail activation
- Proposed additional retail activation



Proposed landscaped plaza integrated into streetscape



Paley Park - New York City



Greenacre Park - New York City

4. Design Concept

4.7 Connectivity

Multiple retail and food & beverage points have been introduced to the space to activate the plaza and create a new destination in the precinct. In addition to the office lobby of the proposed tower 2, the redefined 1 Spring Street Flinders Lane entry bookends the plaza with a theatrette and landscaped areas in between.

With the proposed entrance points and much-improved access around the site, connectivity is improved and encouraged north-south as well as east-west. From Spark Lane, via Western Lane Way a DDA-compliant lift has been provided for step-free access, whilst the shuttle lift connects Throssell Lane at level 1, the plaza at level 2, and restaurant and bar facilities at levels 4 to 6 of the proposed Tower 2.



1. Retail



2. Cafe



3. Florist



4. Conference



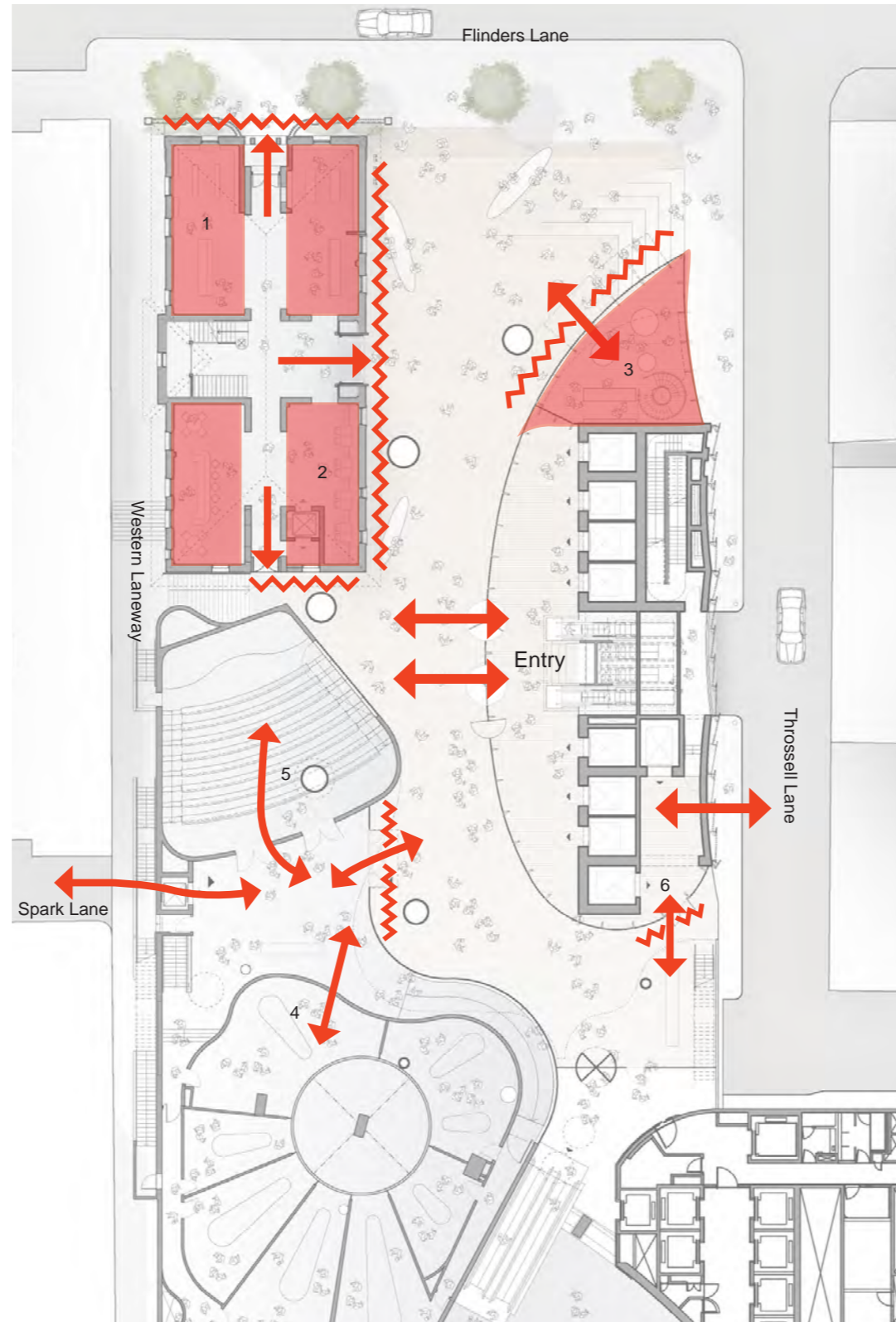
5. Theatrette



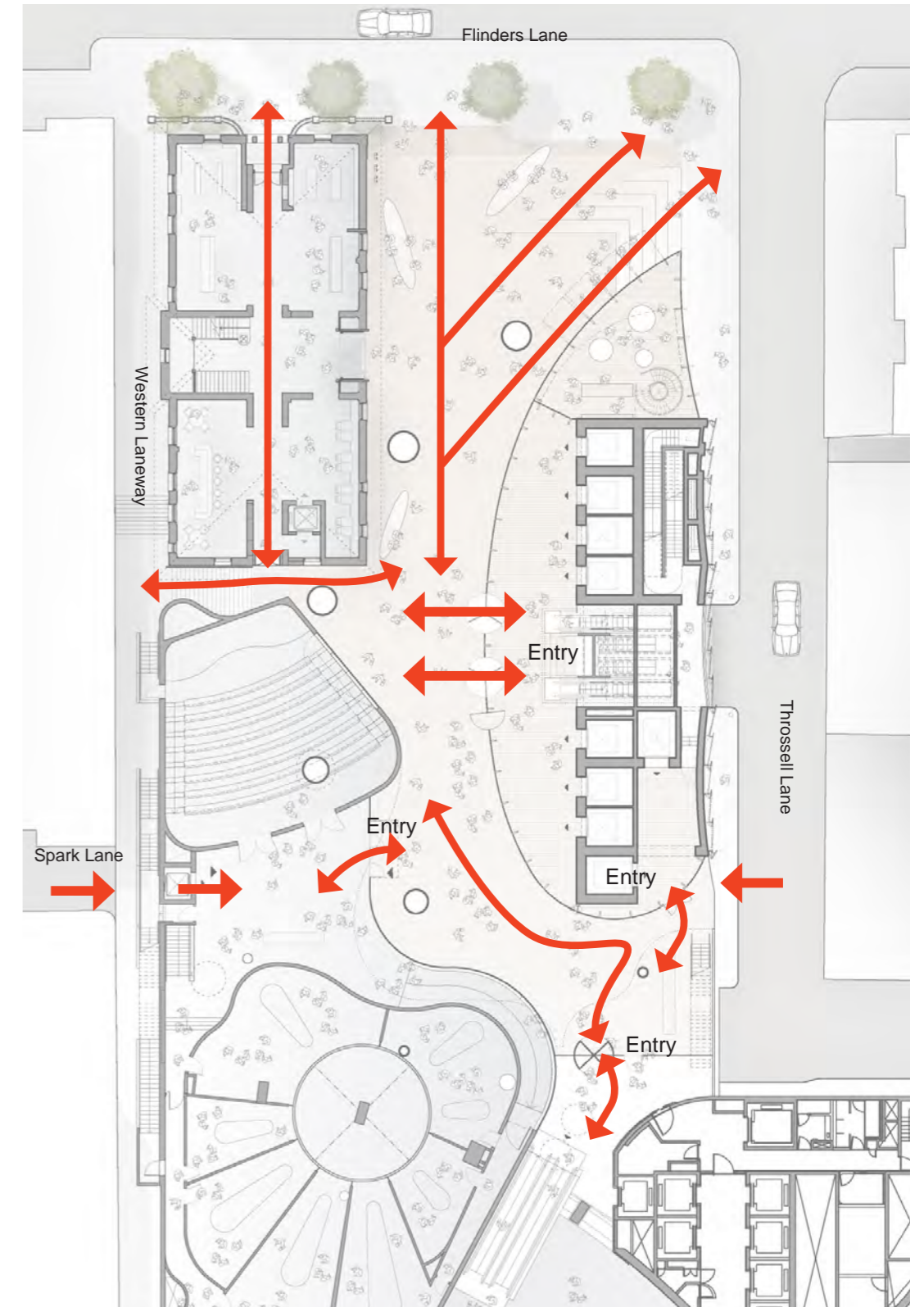
6. Restaurant & Bar

↔ Connectivity

⚡ Activation



Public Domain - Activation

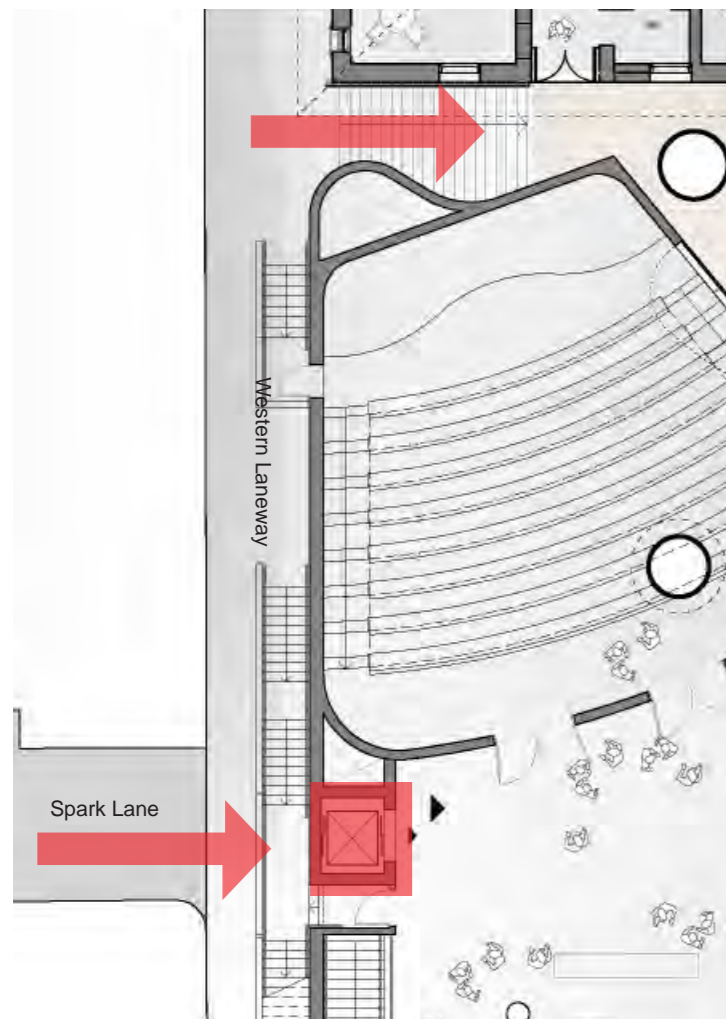


Public Domain - Connectivity

4. Planning Response

4.8 Western Laneway

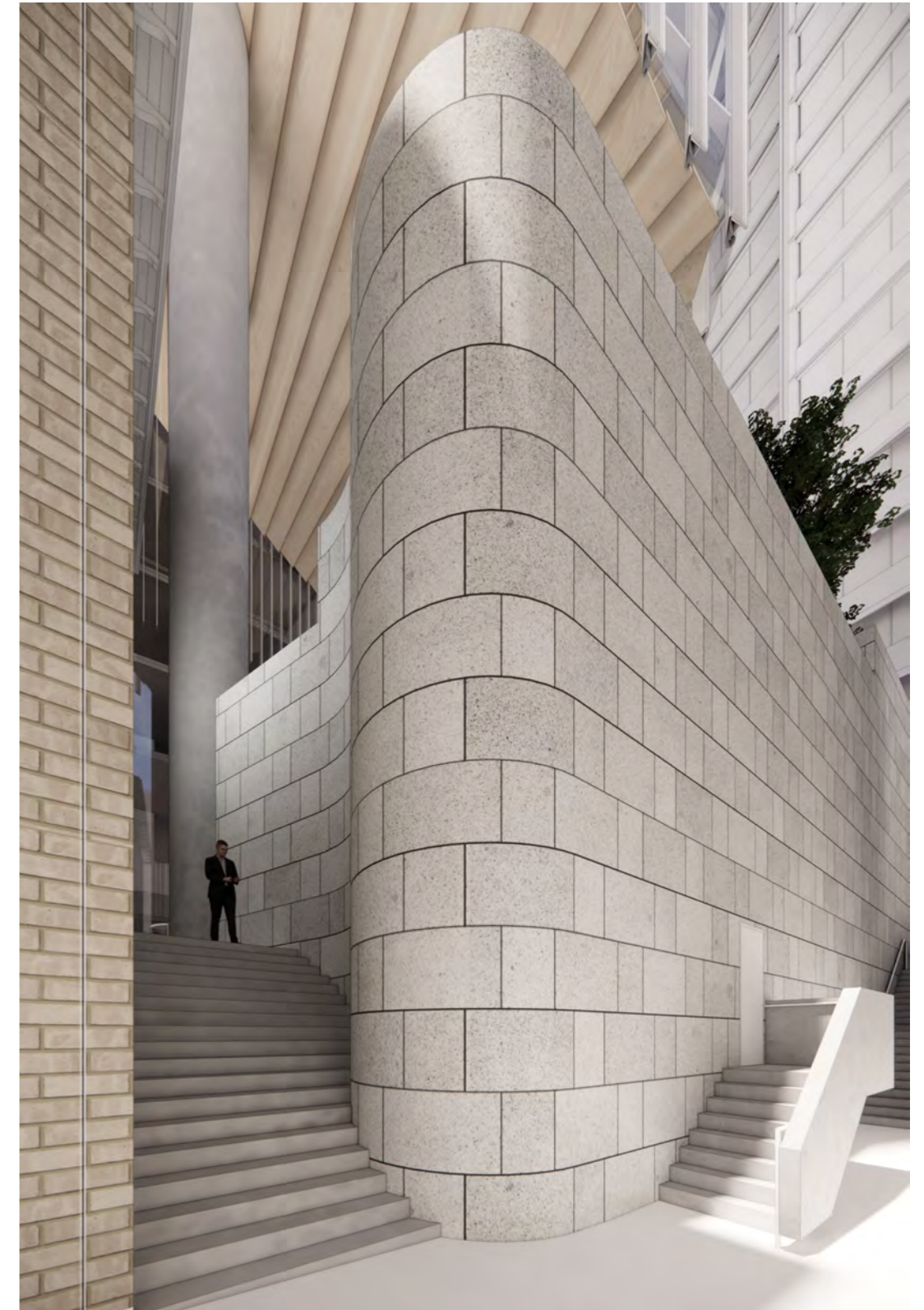
Opening up Western Laneway to the new plaza and development areas also improves safety and surveillance to the existing narrow nature of this corridor. With new stairs and a lift connecting with the plaza area, glimpses of the public space and level 3 landscape areas will help brighten this narrow laneway and encourage better pedestrian utilisation of both Western Laneway and Spark Lane improving connection to the site and laneway network within the immediate urban context.



Entrance from Spark Lane



Existing Condition Western Laneway



Proposed Western Laneway Activation



5. Design Proposal

5. Design Proposal

5.1 1 Spring Street

Level 2 Flinders Lane Entrance

The north concourse has been redesigned to take advantage of the activation generated by the Tower 2 lobby and entrance by repositioning the 1 Spring Street entrance in close proximity.

It is proposed to relocate the Flinders Lane entrance design further south of its current position and reconstruct the existing architectural elements including the glazed entrance and doors, ceiling and lighting and the curved polished granite clad building fascia. On entrance, the polished Tamin paradiso paving is retained. Tenants and visitors circulate at Level 2 to the existing escalators, beneath the retained circular glass skylights, and commence Seidler's Shell House "architectural promenade" of sequential spaces and volumes that terminate in the main lobby of 1 Spring Street. The east wall of the entrance continues the original honed white Roman/Navona travertine cladding.

The external stair accessing the Level 3 Shell House roof gardens is repositioned to the east of the entrance structure consistent with the original planning.



Enlarged plan of Level 2 (southern end)



View towards theatrette/conference entry



View towards theatrette/conference entry



View towards entry to tower 1

5. Design Proposal

5.1 1 Spring Street

The Shell Theatre

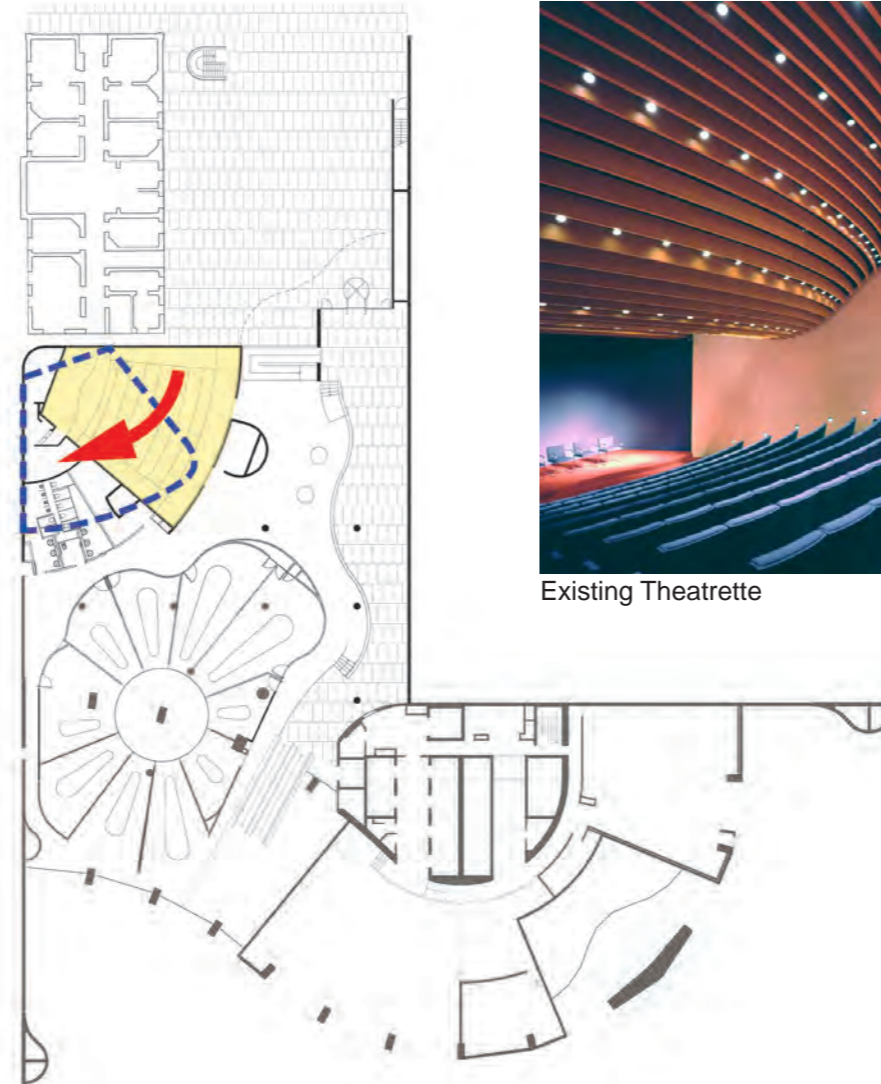
The Shell Theatre is a valued Harry Seidler designed architectural interior. Its design in this case may be considered as an isolated Seidler interior without critical spatial or sequential relationship to the adjacent architecture of Level 2.

The project design proposes to rotate the volume of the Theatre clockwise 45 degrees in its existing siting. The original interior, including seats, wall linings, lighting design and wave-formed concentric timber beam ceiling, is to be relocated into the repositioned volume.

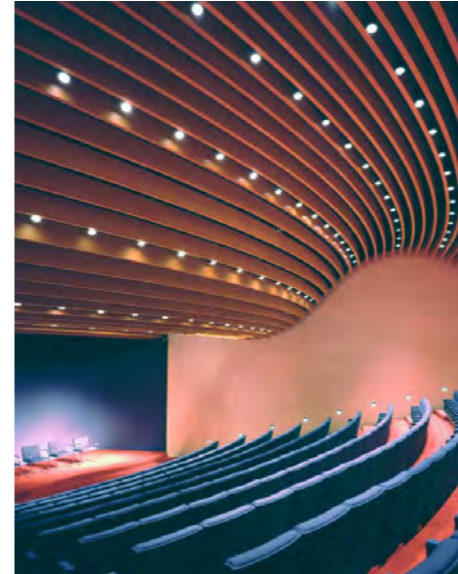
The proposed rotation:

- Acts to open the south elevation of Milton House to public view and
- to provide clear separation and legibility of the architectures of the Art Deco Milton House, Modernist Shell House and contemporary Tower 2.
- Removes one of the new tower columns from the interior (should the Theatre hold its existing location).
- Opens the central space of the Flinders Lane plaza and
- Commences the free-form façade of the 1 Spring Street Level 2 podium as a continuation of the existing concourse glazed wall which separates the Theatre and Conference Centre pre-function space from the through-link to Levels 1 and the main lobby.

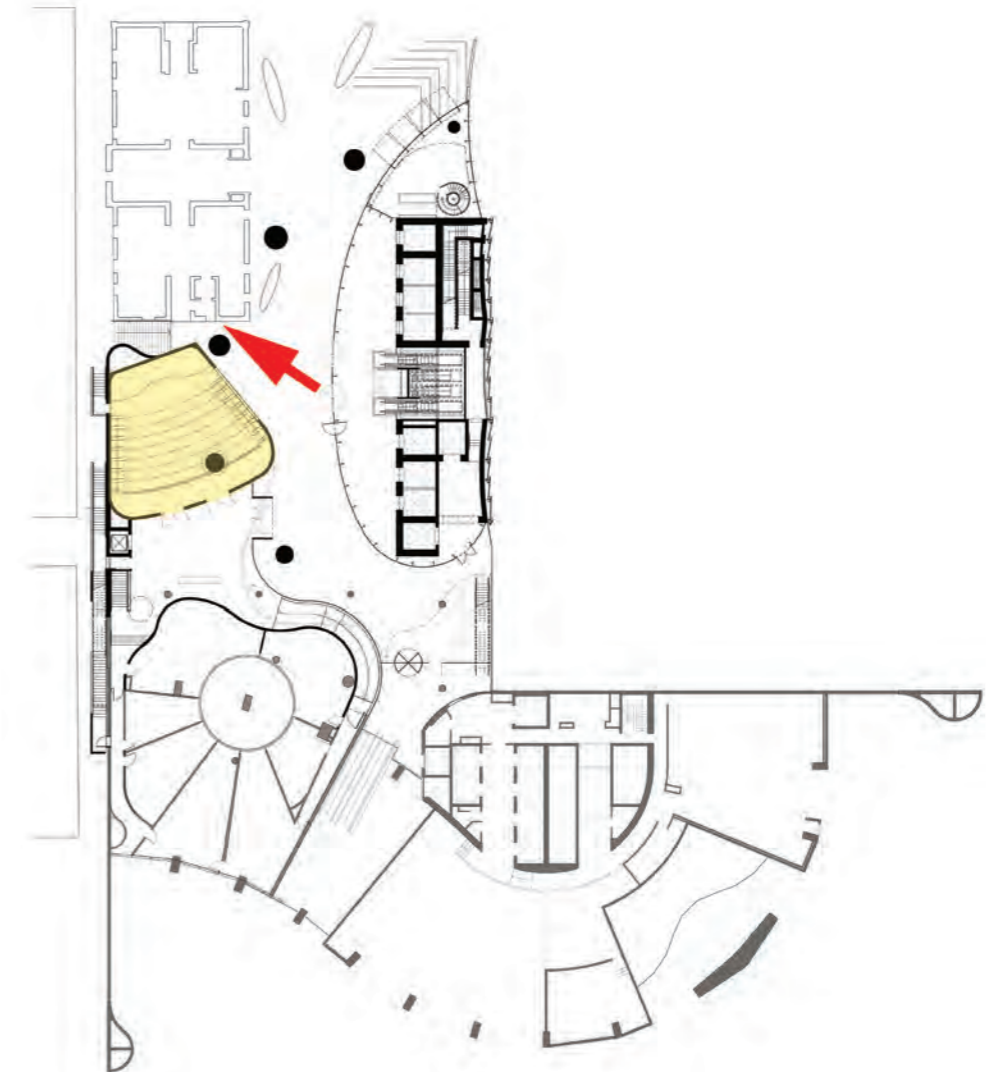
The three front rows of the Theatre are removed within the new volume. All other geometry is retained including radial spread, stepped rake, stage and ceiling heights.



Existing Theatre



Existing Theatre



Proposed Theatre

5. Design Proposal

5.1 1 Spring Street

Conference Centre & Pre-function Space

The architecture of the proposed 1 Spring Street Level 2 podium continues Seidler’s recurring design exploration of visual opposition. Spatial tensions are created as the façade glass alignment “breathes” in and out. The glass alignment is:

- visually opposed to the alignment of the roof fascia overhead and
- also opposed to the rectilinearity of the Tower 2 core and the 1 Spring Street entrance architecture.

The interior of the Shell House at Level 2 is dominated by an architectural exploration of opposing curvatures and linearities (curves opposite counter-curves, curves against rectilinearity) and contrasting materiality – illuminated white heavily textured walls set against the unilluminated smooth flat reflective glass and granite surfaces.

The proposed Pre-function space continues the materiality and volumetric composition of the existing interior.

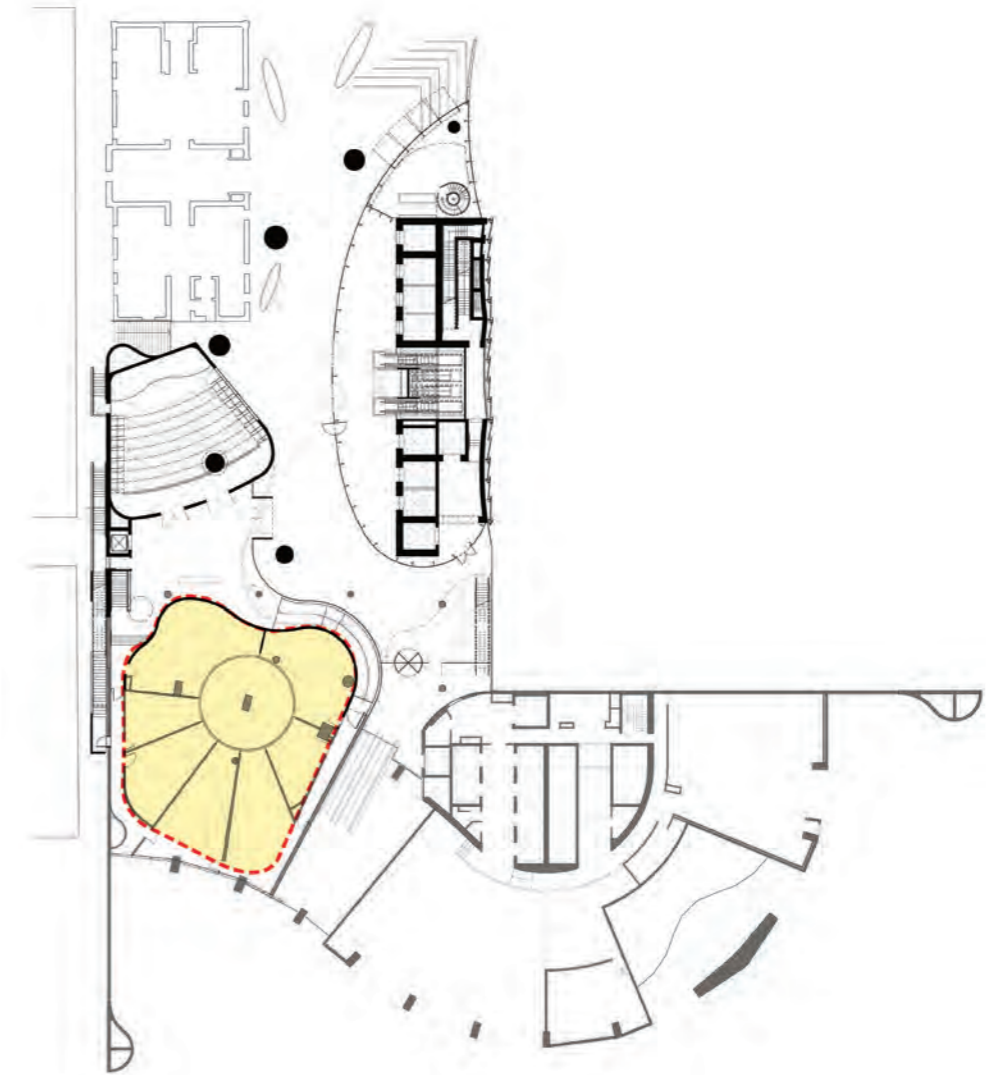
The geometry of the existing Conference Centre perimeter wall is retained and turned clockwise as for the Theatrette to achieve appropriate functional space. The Conference Centre perimeter and the Theatrette exterior wall are to be illuminated and finished as a continuation of the existing heavily textured white-finished walls. Existing columns, skylight and ceiling design are retained and, where required, reconstructed.



Existing Conference Rooms



Existing Conference Area



Proposed Conference Rooms

5. Design Proposal

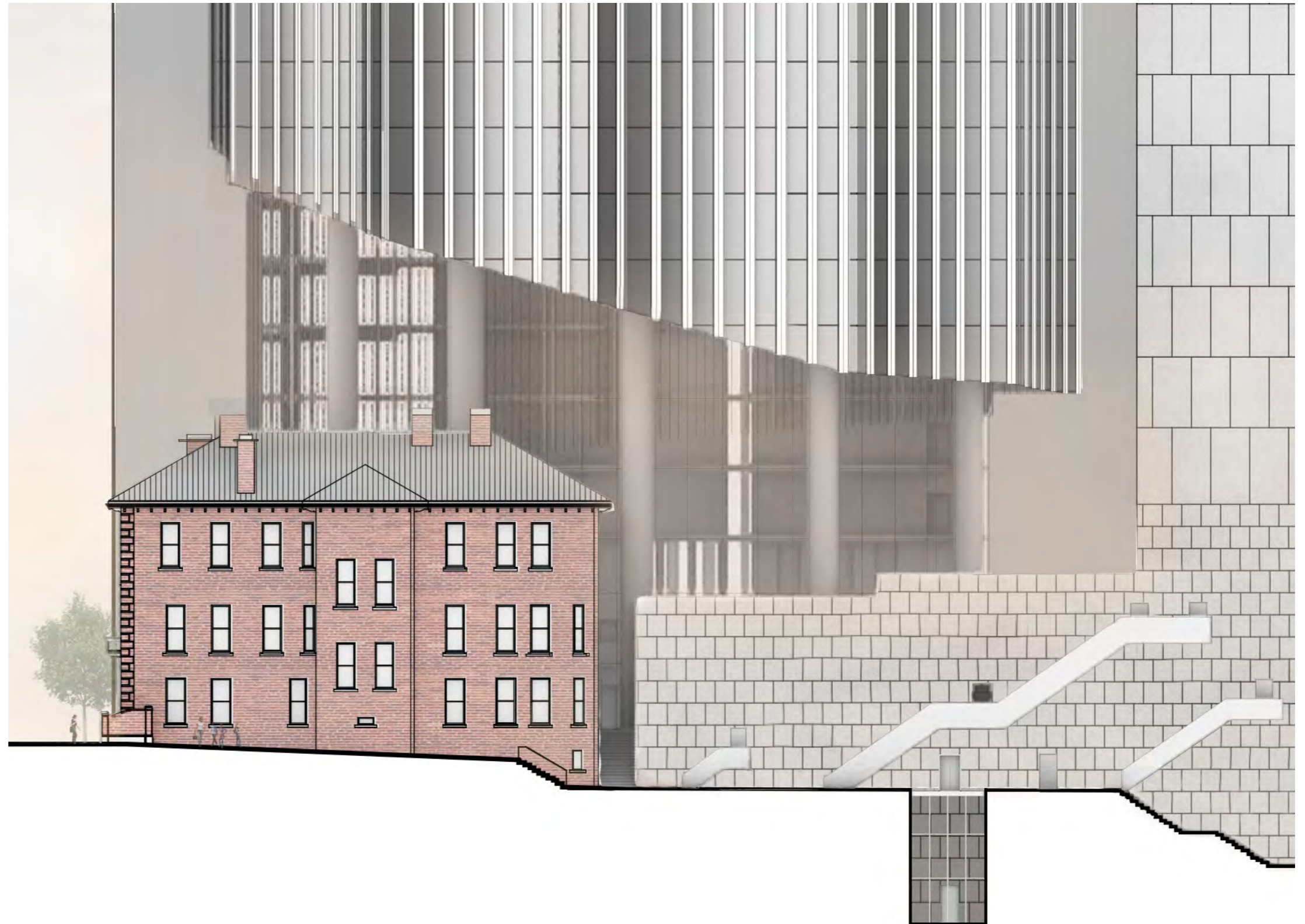
5.1 1 Spring Street

Western Elevation

The architecture of the 1 Spring Street tower is that of curvilinear fenestrated main elevations terminated at Throssell Lane and at the western Lindrum pedestrian laneway by plain polished precast and polished granite shear walls.

The western shear wall features a composition of cascading cantilevered fire stairs and punctuations of bronze coloured doorways and louvres. The fire stairs are set in reverse to the crossfall of the ground levels at the base of the western façade.

The new works retain the architecture of the western elevation including all stairs and the composition of openings and punctuations. The northern end of the elevation is slightly shortened to gain open space at Milton House, its existing curved end is reconstructed. One additional opening is proposed at ground level to provide lift connection to Spark Lane. The existing materials and finishes are retained and reinstated where necessary to maintain the building's integrity. An isolated length of parapet wall is increased by approximately 1.5 metres in height to accommodate the Roof Garden level lift shaft headroom.



5. Design Proposal

5.1 1 Spring Street

Roof Garden

The occupants of Shell House benefitted from the availability of a roof garden at Level 3 above the podium addressing Flinders Lane. The roof garden was accessed with security pass by stair from the Flinders Lane forecourt. The roof garden was richly landscaped, porphyry paved and furnished with linear bench seats of polished granite arranged in opposing offset alignments. Architecturally, the roof garden provided green foreground for the north-facing tower façade.

The 2019 refurbishment of 1 Spring Street included the construction of a glazed direct pedestrian connection from tower Level 3.

The proposed design retains the existing roof garden design at its interface with the tower. The design is extended and continues the species of the original gardens and trees and the meandering pavement which was planned to invite exploration, repose and relief. The original polished granite seats are to be repositioned in opposing offset patterns to continue the pervasive exploration of visual opposition. The repetitive hook-shaped S-motif of the original tower plan and the engaged air shafts at Spring Street and Flinders Street is recalled at Roof Garden level in the negative and positive forms of the lift enclosure, north air shaft and Theatre glass.

The façade parapets at east and west which provide enclosure for the roof garden are to be retained.



Enlarged plan of Level 3



View from roof garden east



View from roof garden seating



View from roof garden entry



5. Design Proposal

5.2 Milton House

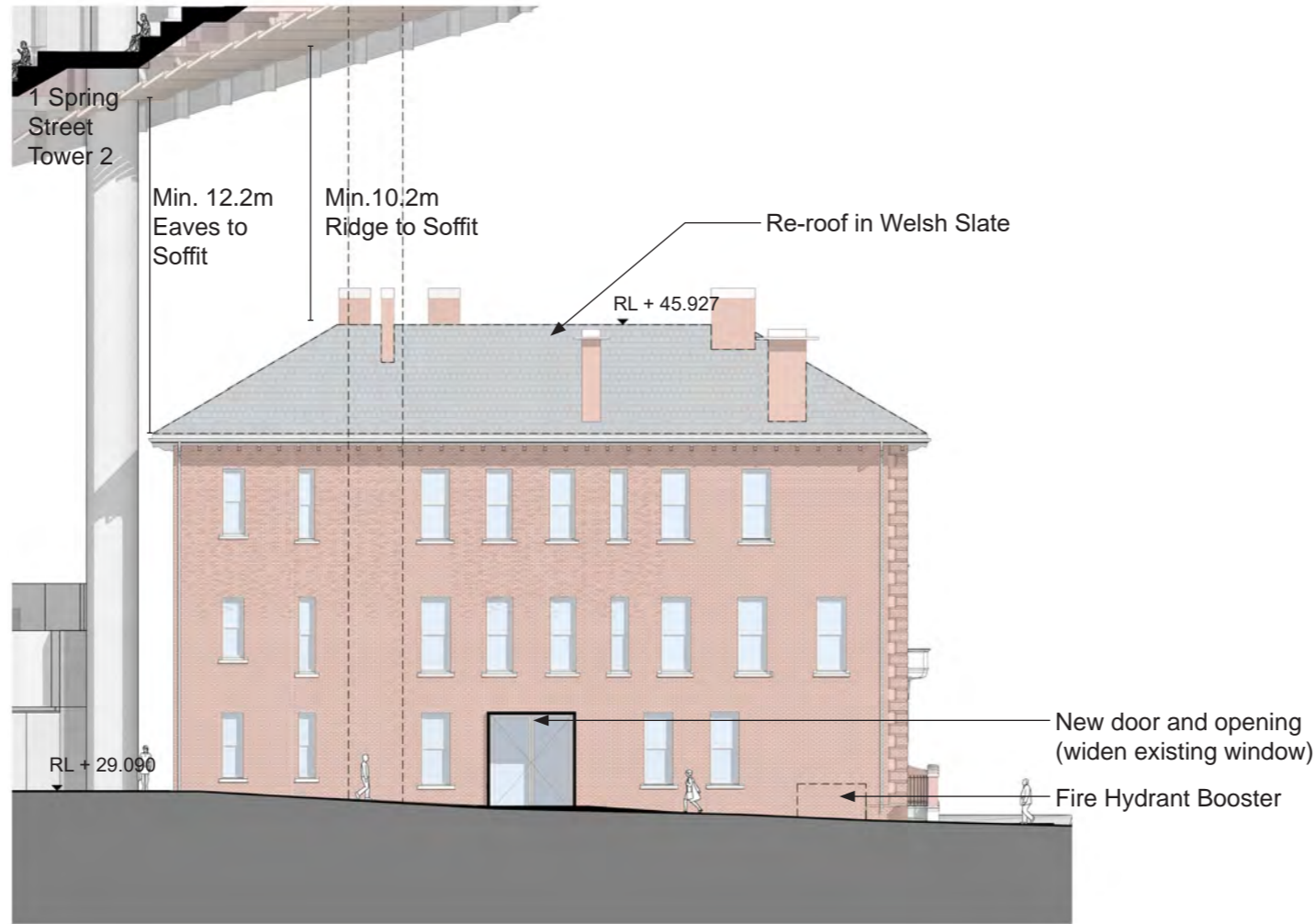
Milton House Activation

The redevelopment of 1 Spring Street Northern Plaza provides a unique opportunity to open the Southern facade of Milton House that has been hidden by the existing Theatre wall and carpark exhaust shaft.

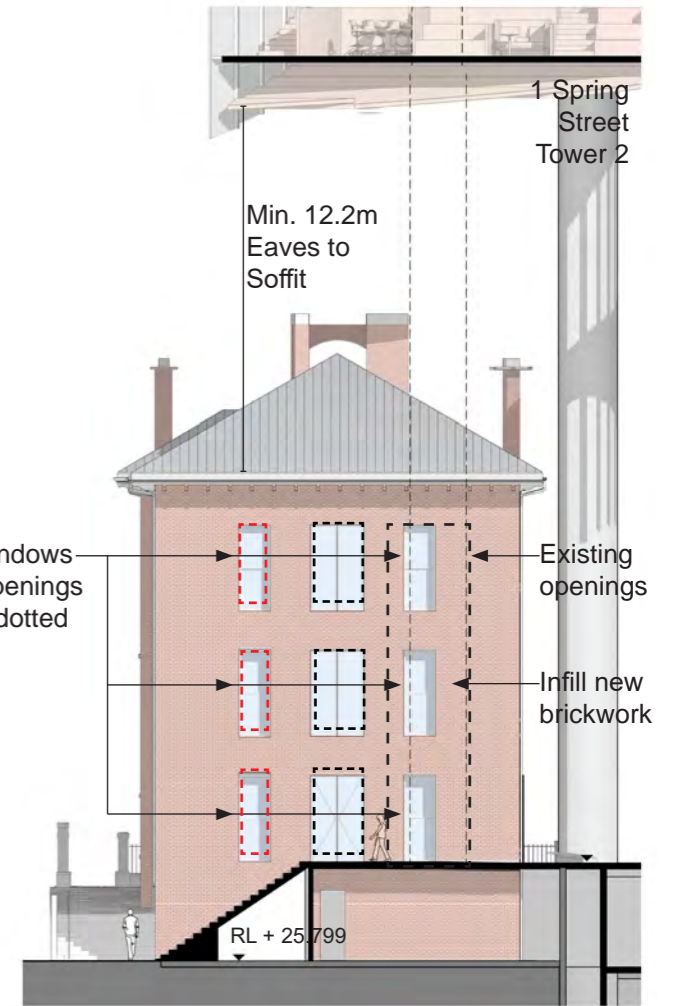
The redevelopment will open the southern elevation of Milton House which has already been significantly altered. The southern facade could take clues from the northern facade arrangement and provide simple openings reflecting the existing arrangements.

The existing opening caused by the fire stair landing could be infilled through re-use of the brick allowed by the new window openings maintaining proportions.

The sloping soffit of Tower 2 has been significantly raised in comparison to the previous proposal with a gentle curving form only tangentially overlapping a corner of the existing building. This results in excellent separation between forms and ability to see Milton House as a separate form in round.



Milton House - East Elevation



Milton House - South Elevation

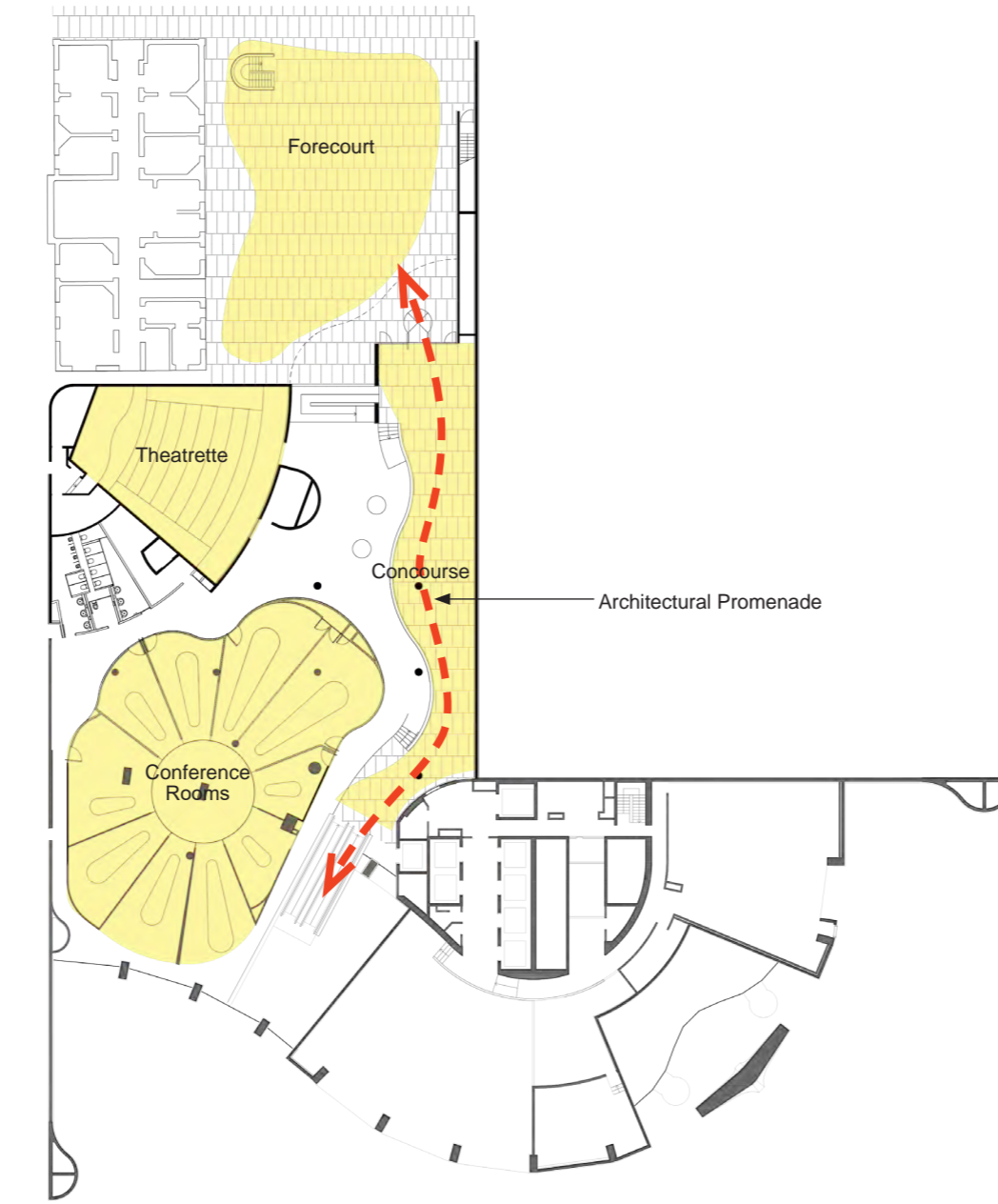
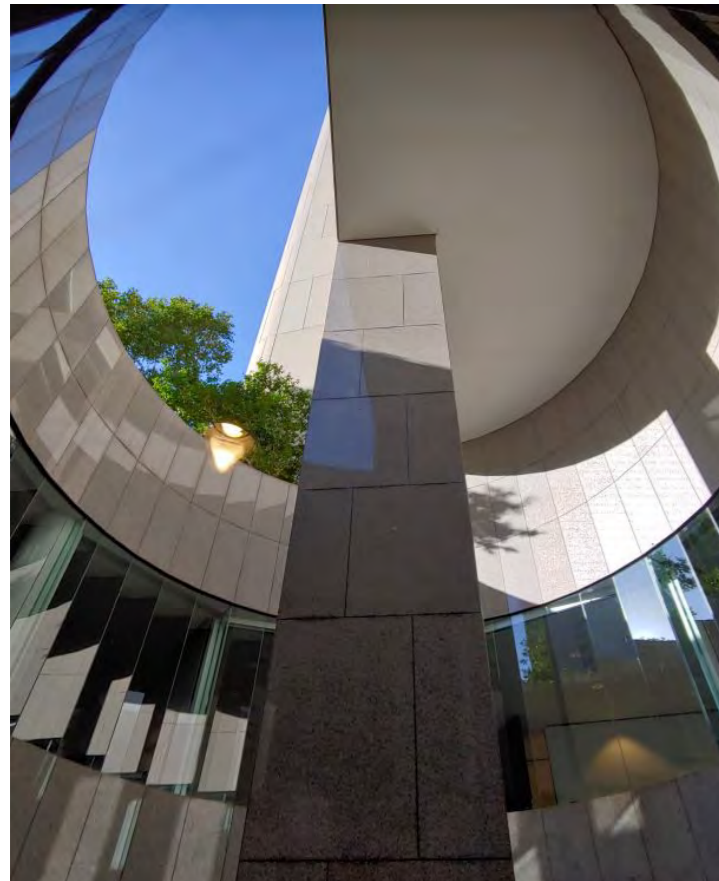


5. Design Proposal

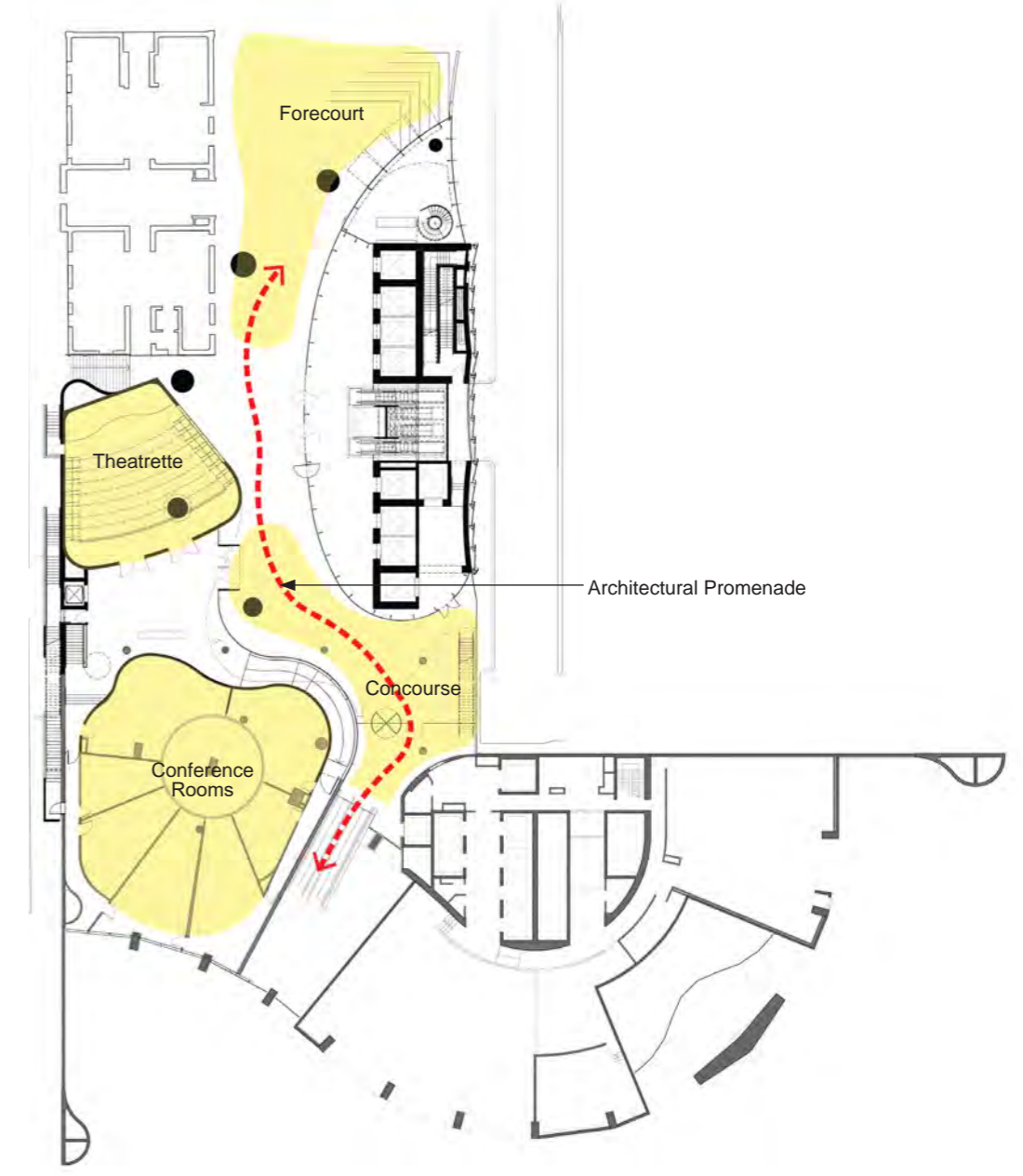
5.3 Public Realm

Retained Architectural Elements

Despite the presence of the proposed tower 2, the new ground plane retains the key architectural language in the existing 1 Spring Street podium. The careful assembly of retained architectural elements recreates sequence and experience of an architectural promenade that is quintessential in architect Harry Seidler's design.



Existing Podium



Proposed Podium

5. Design Proposal

5.3 Public Realm

Consistent Architectural Expression

The roof garden has retained its unique amenity for the tenants at 1 Spring Street. It seamlessly extends from the 1 Spring Street Tower 1, and carefully weaves through the newly proposed tower. The distinctive form inherits the architectural expression of the existing building.



Existing Podium



Proposed Podium

5. Design Proposal

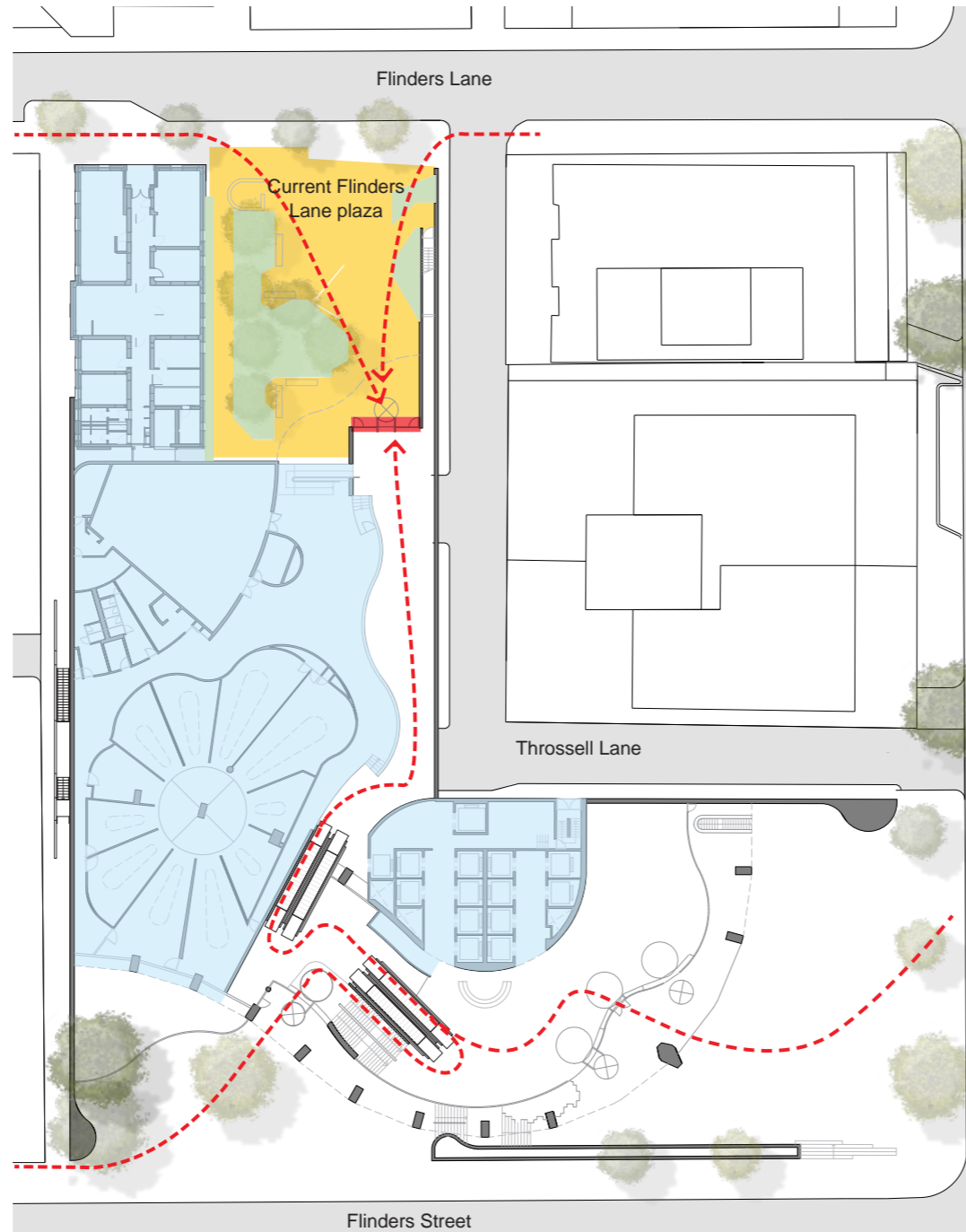
5.3 Public Realm

Precinct Ground Plane

A strong visual and physical connection is formed from Flinders Lane through the extended northern plaza connecting the three elements, re-activated Milton House, the northern entry of 1 Spring St (with its theatre and conference facilities) and new activation provided by the Tower 2 lobby.

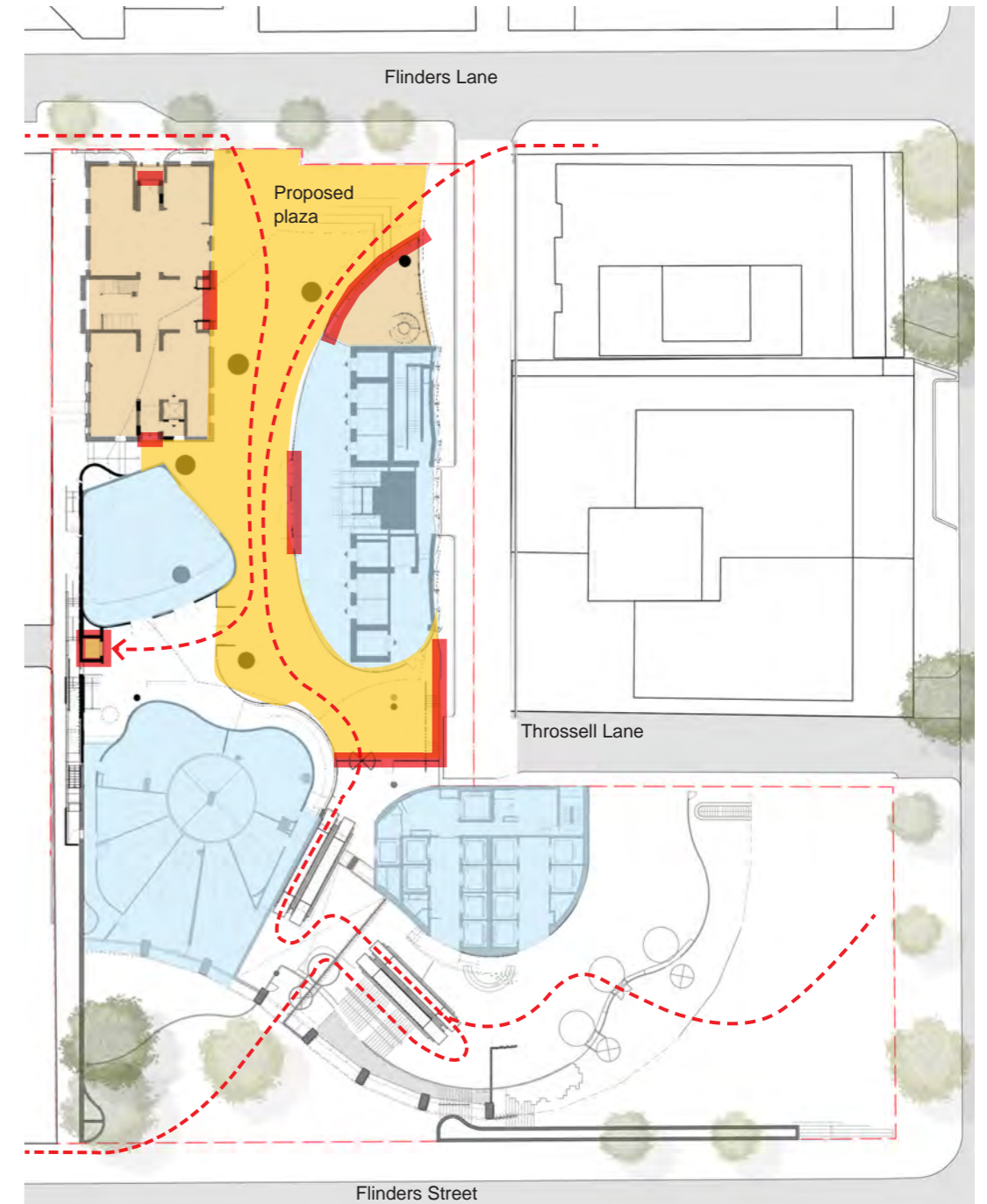
This new 24/7 accessible space will have a distinctly 'exterior' public character that will provide clear opportunities for lingering spaces and will help activate the eastern end of Flinders Lane.

The plaza space is further integrated into the city laneway network via lift access from Throssell and Spark Lanes as well as the western north-south Flinders St to Flinders Ln connection.



Current Plaza

The current plaza acts as a secondary entry with limited activation and a single entry connection point via a small door. The landscaped space is disconnected from Milton House and Tower 1 as well as the street blocked by the fire egress stair. The Flinders Lane to Flinders Street connection is via a narrow passage that presents as a private office entry, not welcoming to the public.



Proposed Plaza

The proposed plaza is a publicly accessible space, featuring multiple points of retail activation and myriad of connection points along the pedestrian journey. The landscaped space is an integrated permeable space, that can be comfortably occupied and lingered in. The Flinders Lane to Flinders Street connection is enhanced by a wide folded plane extending the perception of public realm.

--- Pedestrian connections

Active frontage

Retail activation

Landscaped space

Private commercial zones

5. Design Proposal

5.3 Public Realm

Level 2 - Plaza

The proposed Level 2 – Flinders Lane Plaza- is designed to generate a strong public connection between the buildings while providing a public space with great spatial qualities.




This public platform gently sweeps between the three forms of Milton House, 1 Spring Street northern entry (comprised of theatrette, conference centre and relocated entry portal) as well as new Tower 2 lift lobby and accompanying retail entries.

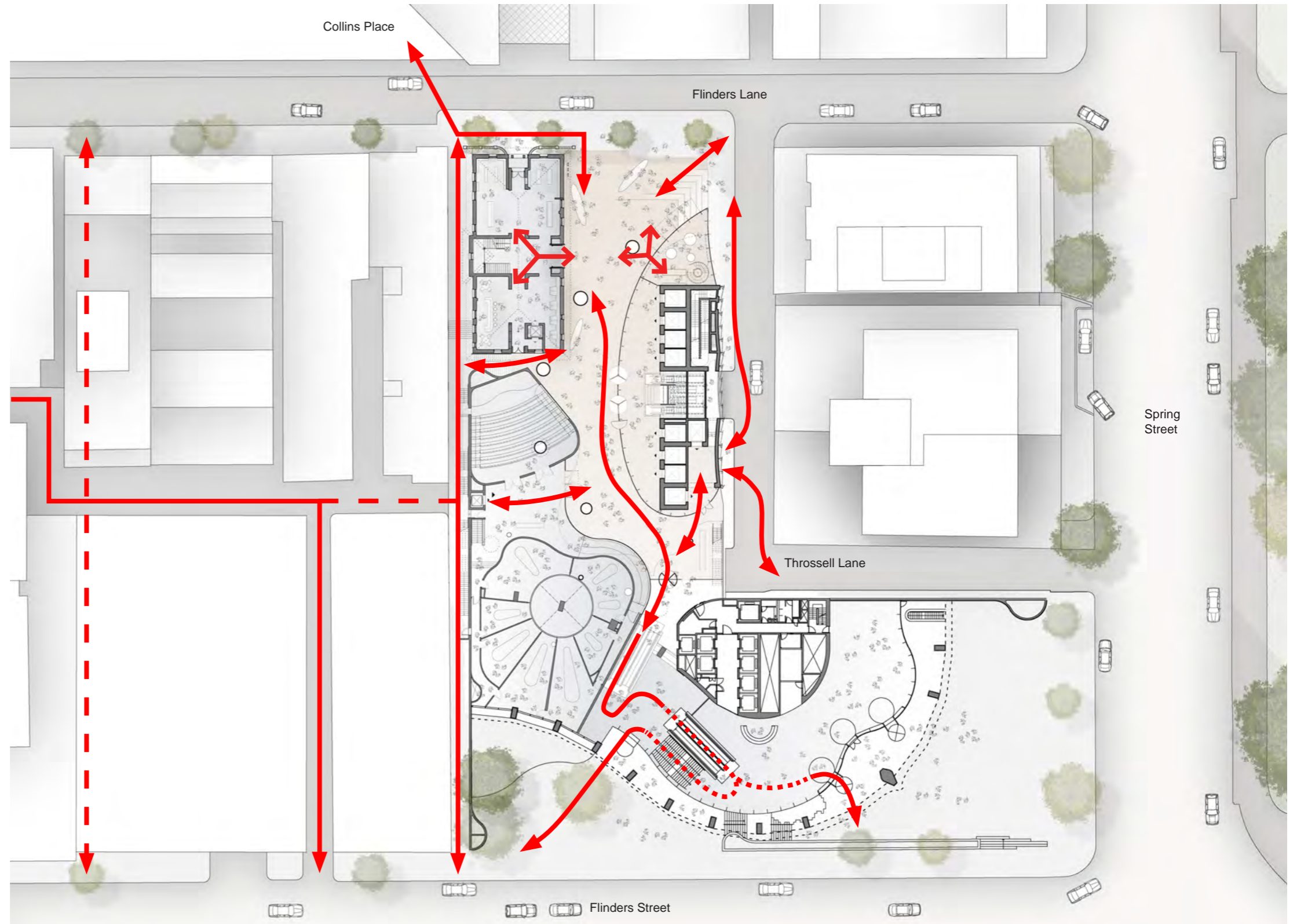
A gently sweeping tower 2 soffit acts as an inviting gesture and provides shelter for the plaza areas between Tower 1 and Tower 2 while offering extensive views to the heritage façade of Tower 1.

The design carefully considers existing environmental conditions adapting the design to assure that the revitalised plaza maintains solar access in winter months which is already limited by the tall towers to the north.

The plaza space will offer views of Milton House as an object in a round for a first time in over 50 years, enhancing the significance of this heritage element with opportunity to further integrate it into the public realm through introduction of a new eastern access point.

The plaza space is strengthened through continuation of floor finish, materiality and landscaped elements already present in 1 Spring Street, carefully integrating new elements of Tower 2 through sympathetic architectural interpolations.

-  existing and proposed links
-  existing links on level below
-  potential future links



5. Design Proposal

5.3 Public Realm

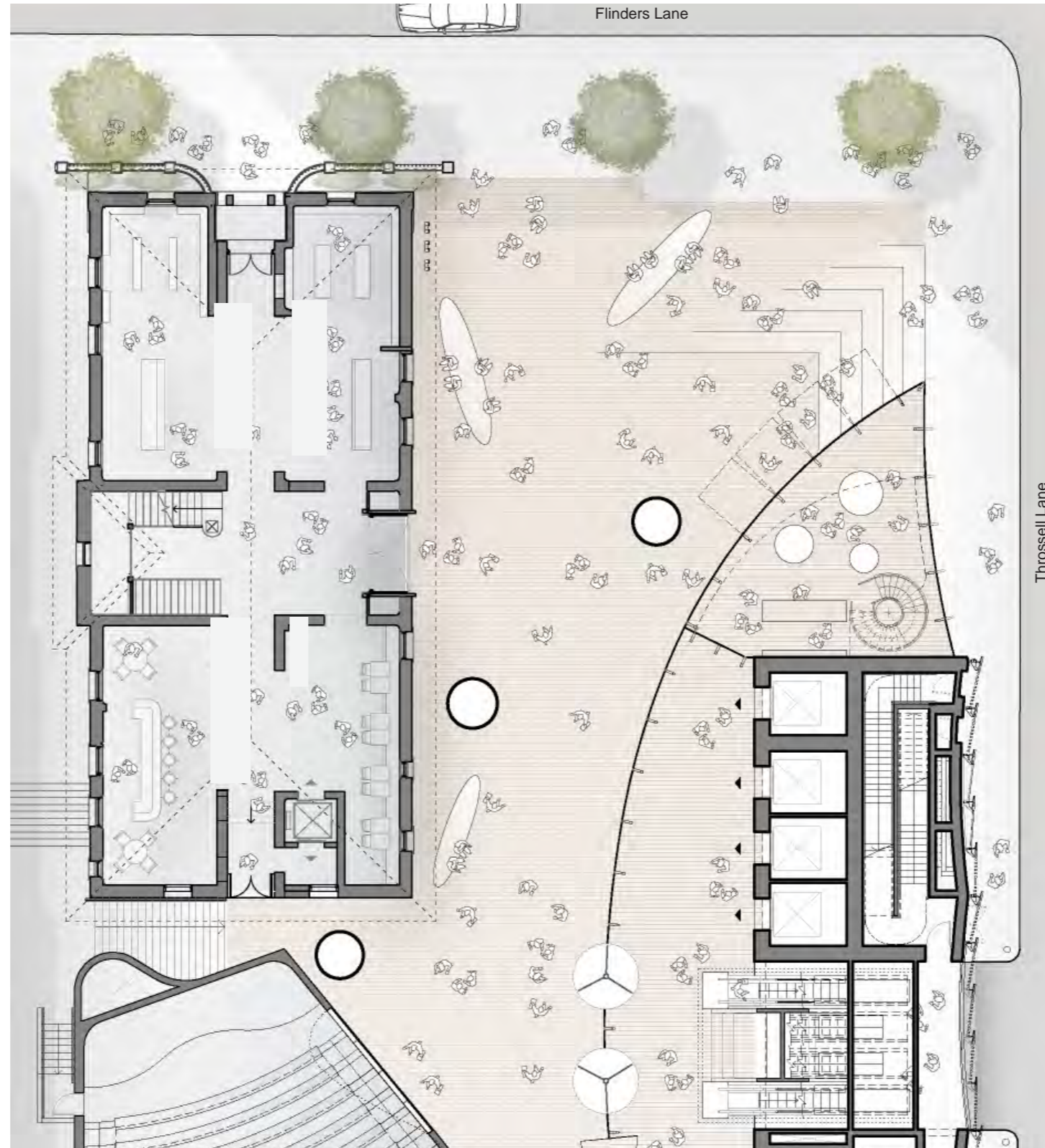
Milton House Plaza Interface

The project offers a revitalised publicly accessible plaza that is fully integrated into the public realm, allowing the public to experience the historical fabric of Milton House while providing opportunities for social activities and respite.

Activation of the plaza will be further enhanced by opening Milton House to the plaza. Curated retail can be accessed by a portal opening in the east façade, which has been designed in collaboration with Heritage Architects Lovell Chen.

To further enhance the activation of the plaza, there will be a retail space on the eastern side of the plaza, housed within the glazed curved wing of the development.

Environmental wind studies have been undertaken and confirm the space will be comfortable for sitting and walking.



Enlarged plan of Level 02 plaza (northern end)



View from Flinders Lane of Milton House facing Plaza



Elevated View from Flinders Lane



View of Milton House from plaza towards Flinders Lane



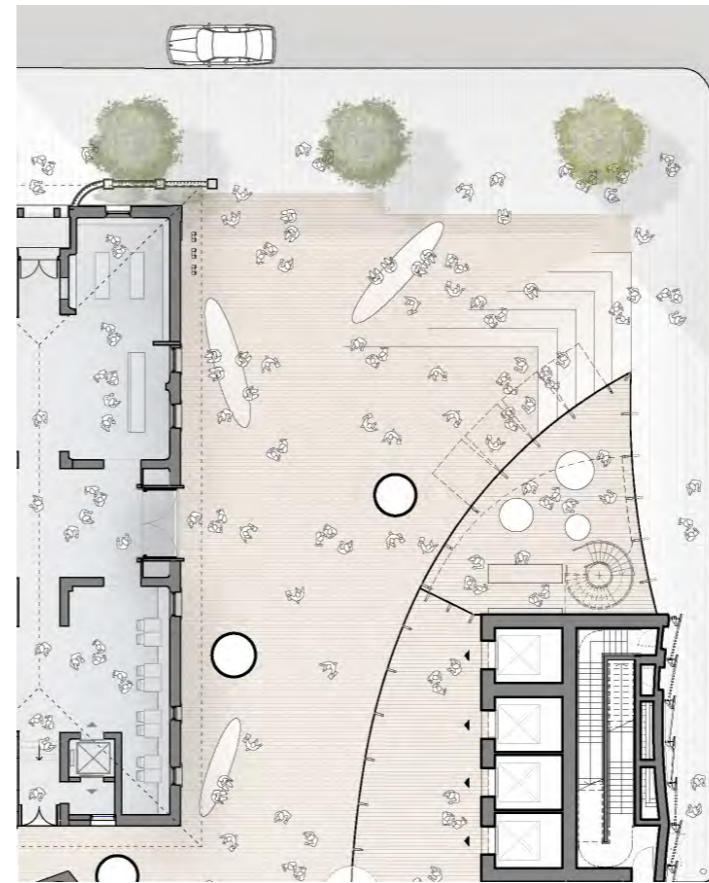
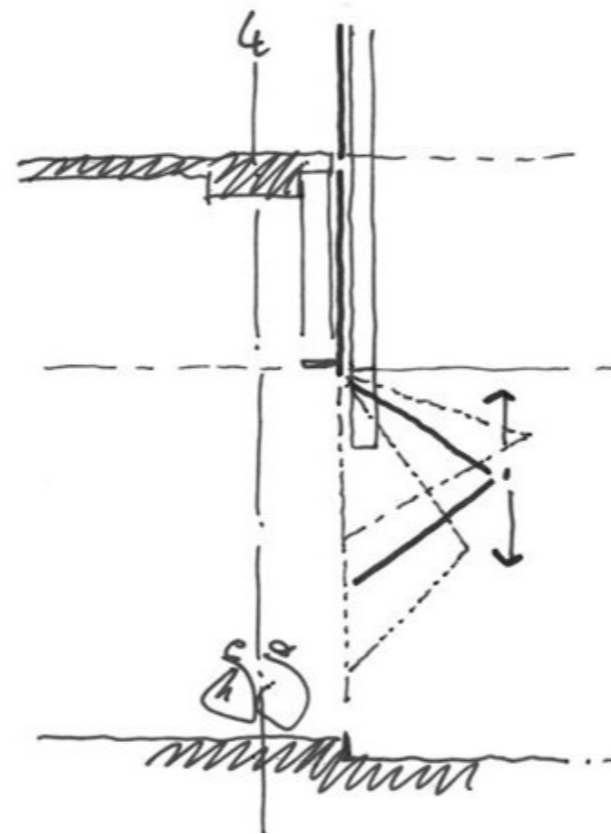


5. Design Proposal

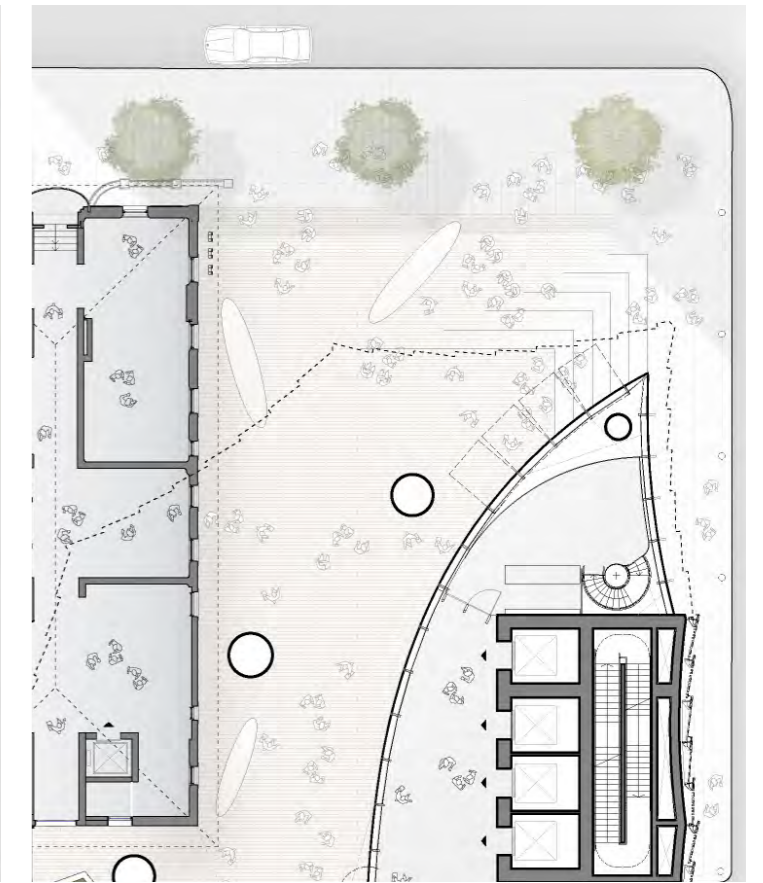
5.3 Public Realm

Retail Activation

A double-storey retail tenancy is proposed adjacent to the entry plaza. Through an operable facade, the retail can extend seamlessly onto the entry plaza. Together with the stepped seating design, it encourages people to stay and interact with the public realm. The mezzanine level provides more private space for retail tenancy. A spiral stair is proposed to not only provide access to the upper-level retail but also serve as a sculptural element that animates the architectural experience along Throssell Lane.



Entry Retail - Level 2



Entry Retail - Level 3

