

Report to the Future Melbourne Committee

Agenda item 6.2

**Planning Permit Application: TP-2022-636
29 Simpson Street, 19-27 Simpson Street, and 86-92 Wellington Parade,
East Melbourne**

11 July 2023

Presenter: Marjorie Kennedy, Head of Statutory Planning**Purpose and background**

1. The purpose of this report is to advise the Future Melbourne Committee of Planning Permit Application TP-2022-636 at 29 Simpson Street, East Melbourne (refer Attachment 2 – Locality Plan).
2. The application also affects 19-27 Simpson Street, and 86-92 Wellington Parade, East Melbourne. This land is included due the proposed removal of easements and the demolition of an external staircase encroaching into 19-27 Simpson Street.
3. The owner and applicant is Simpson House Pty Ltd, who are being represented by Tract Consultants Pty Ltd. Fender Katsalidis are the project architects.
4. The subject site is within the General Residential Zone, Schedule 1 and is affected by the Heritage Overlay, Schedule 2 (East Melbourne and Jolimont Precinct) and the Specific Controls Overlay, Schedule 4 (Cliveden Hill Private Hospital, 29 Simpson Street, East Melbourne, July 1999).
5. The proposal seeks the partial demolition and construction of three 3-storey dwellings (with a basement), and the removal of easements. The partial demolition comprises the removal and replacement of the roofs (with welsch slate) of the retained heritage buildings to allow the piling of the basement, and the removal of unsympathetic side and rear additions. The proposed three 3-storey dwellings are located to the side and rear of the retained heritage buildings. Existing vehicle access to Simpson Street is maintained and provides access to the basement (refer to Attachment 3 – Plans).
6. Public notice of the application was undertaken and two objections have been received. Key matters raised include overlooking, the impacts of construction, building height, inconsistent with neighbourhood heritage character, sustainable design, and the provision of basement car parking.

Key issues

7. The site is a 'Significant' heritage place under the *Heritage Places Inventory March 2022 (Amended January 2023)*. The key heritage issues for consideration are the removal and reinstatement of the heritage roofs, the structural integrity of the retained heritage buildings while basement piling occurs, and the visibility of additions.
8. The application was amended during the process to retain two out of the four roofs and reduced the built form which has resulted in an appropriate heritage outcome. A structural engineer reviewed the method of basement piling and concluded that the proposed techniques are sound and has recommended conditions should a planning permit issue.
9. Other key issues for consideration relate to building height, heritage and urban design, external amenity impacts, sustainable design, waste and car parking.
10. With regard to the removal of easements, consent letters have been received from affected land owners and there are no services below the easements.
11. The outcomes of the proposal are consistent with the relevant provisions of the Melbourne Planning Scheme and will make a positive contribution to East Melbourne. The removal of the building to the corner of Simpson Street and George Street will improve views to the 'Significant' heritage place and result in a net community benefit.

Recommendation from management

12. That the Future Melbourne Committee resolves to issue a Notice of Decision to Grant a Permit subject to the conditions set out in the delegate report (refer to Attachment 4 of the report from management).

Attachments:

1. Supporting Attachment (Page 2 of 105)
2. Locality Plan (Page 3 of 105)
3. Selected Plans (Page 4 of 105)
4. Delegate Report (Page 53 of 105)

Supporting Attachment

Legal

1. Division 1 of Part 4 of the *Planning and Environment Act 1987 (Act)* sets out requirements in relation to applications for permits pursuant to the relevant planning scheme.
2. As objections have been received, sections 64 and 65 of the Act provide that the responsible authority must give the applicant and each objector notice in the prescribed form of its decision to either grant a permit or refuse to grant a permit. The responsible authority must not issue a permit to the applicant until the end of the period in which an objector may apply to the Victorian Civil and Administrative Tribunal (VCAT) for a review of the decision or, if an application for review is made, until the application is determined by the VCAT.

Finance

3. There are no direct financial issues arising from the recommendations contained within this report.

Conflict of interest

4. No member of Council staff, or other person engaged under a contract, involved in advising on or preparing this report has declared a material or general conflict of interest in relation to the matter of the report.

Health and Safety

5. Relevant planning considerations such as wind impacts, glare and waste management that could impact on health and safety have been considered within the planning permit application and assessment process.

Stakeholder consultation

6. Public notice of the application has been undertaken to surrounding owners and occupiers pursuant to sections 52 and 57B of the Act.

Relation to Council policy

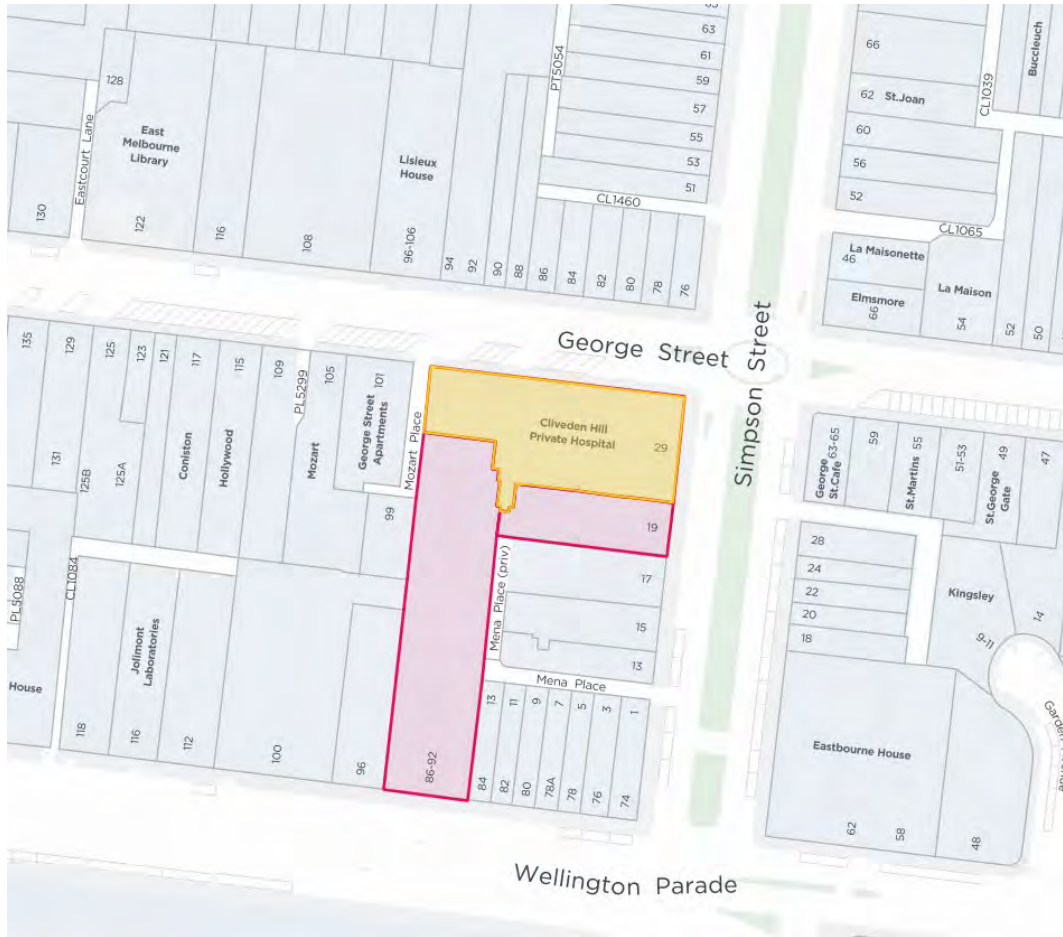
7. Relevant Council policies are discussed in the attached delegate report (refer Attachment 4 – Delegate Report).

Environmental sustainability

8. The Sustainable Design Assessment (SDA) submitted with the application confirms the development will achieve the relevant performance measures set out in Clauses 15.01-2L-01 (Energy, Water and Waste Efficiency) and 19.03-3L (Stormwater Management) of the Melbourne Planning Scheme.
9. Recommended planning permit conditions require further details of sustainability initiatives to be shown on the architectural plans and require the implementation of the sustainability initiatives outlined in the SDA.

Locality Plan

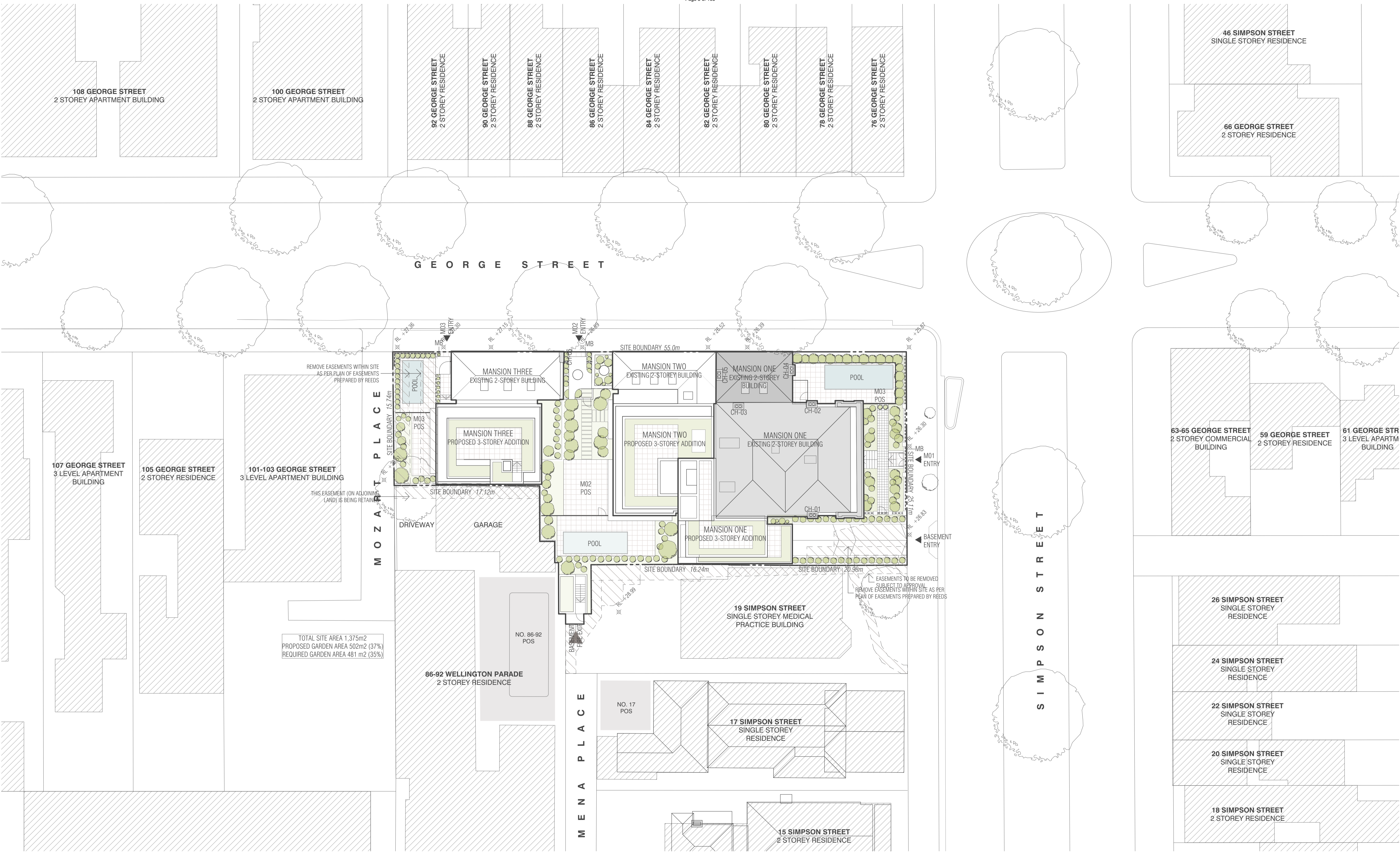
29 Simpson Street, 19-27 Simpson Street, and 86-92 Wellington Parade, East Melbourne VIC 3002



29 Simpson Street



19-27 Simpson Street and
86-92 Wellington Parade



TOTAL SITE AREA 1,375m²
 PROPOSED GARDEN AREA 502m² (37%)
 REQUIRED GARDEN AREA 481 m² (35%)

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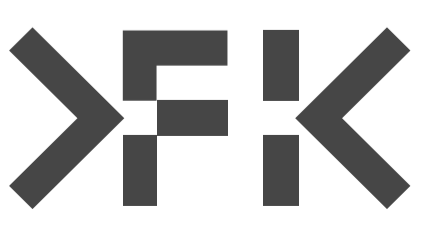
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PROJECT
 SIMPSON HOUSE
 29 SIMPSON STREET
 East Melbourne Victoria 3002

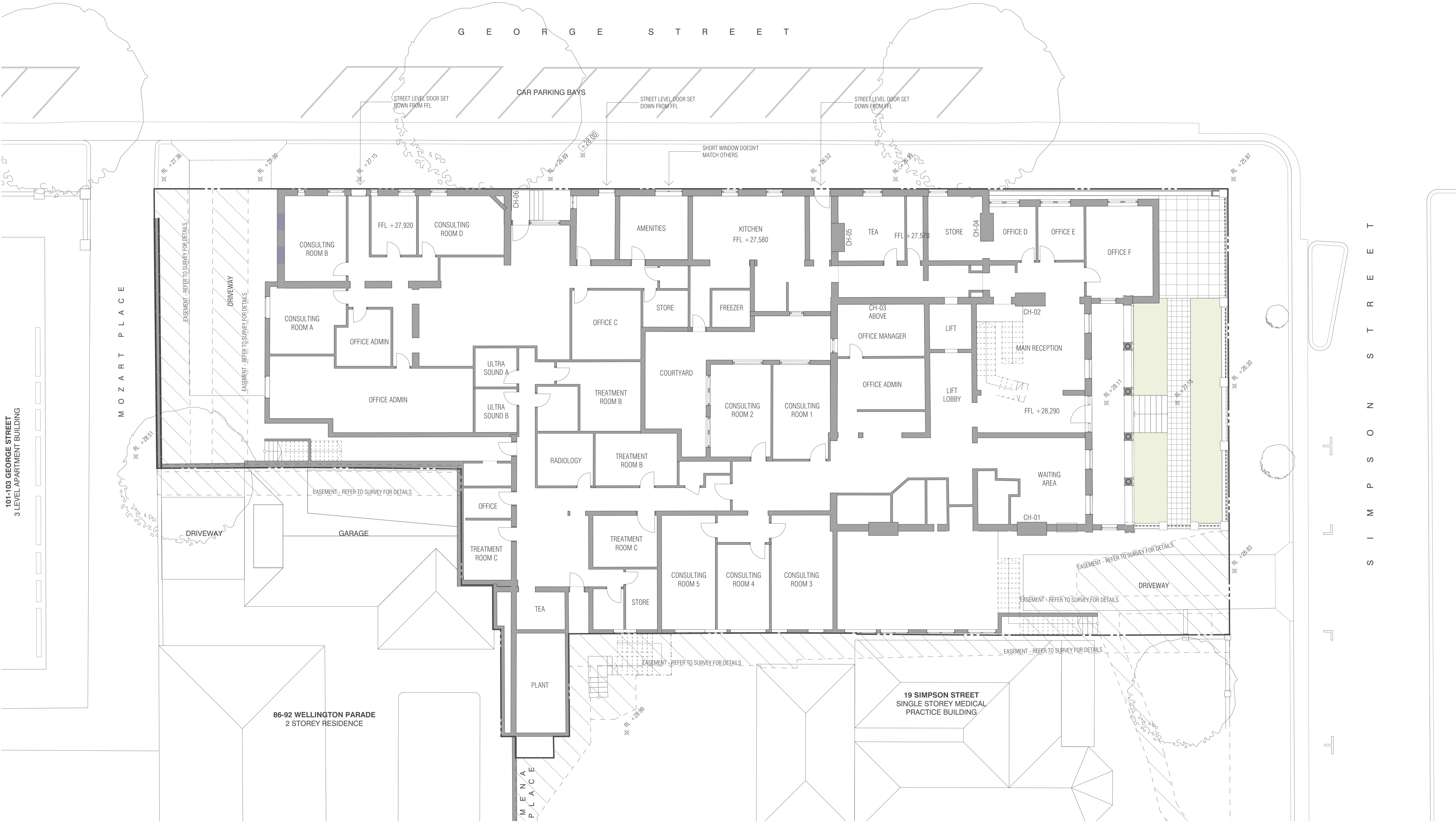
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 SITE PLAN

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ISSUE PURPOSE
 TOWN PLANNING



REV. B
DRAWING NO. TP003



101-103 GEORGE STREET
3 LEVEL APARTMENT BUILDING

MOZART PLACE

SIMPSON STREET

86-92 WELLINGTON PARADE
2 STOREY RESIDENCE

19 SIMPSON STREET
SINGLE STOREY MEDICAL
PRACTICE BUILDING

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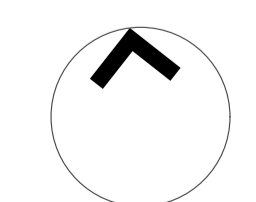
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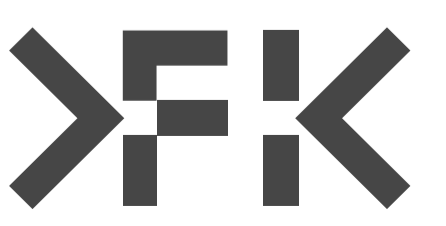
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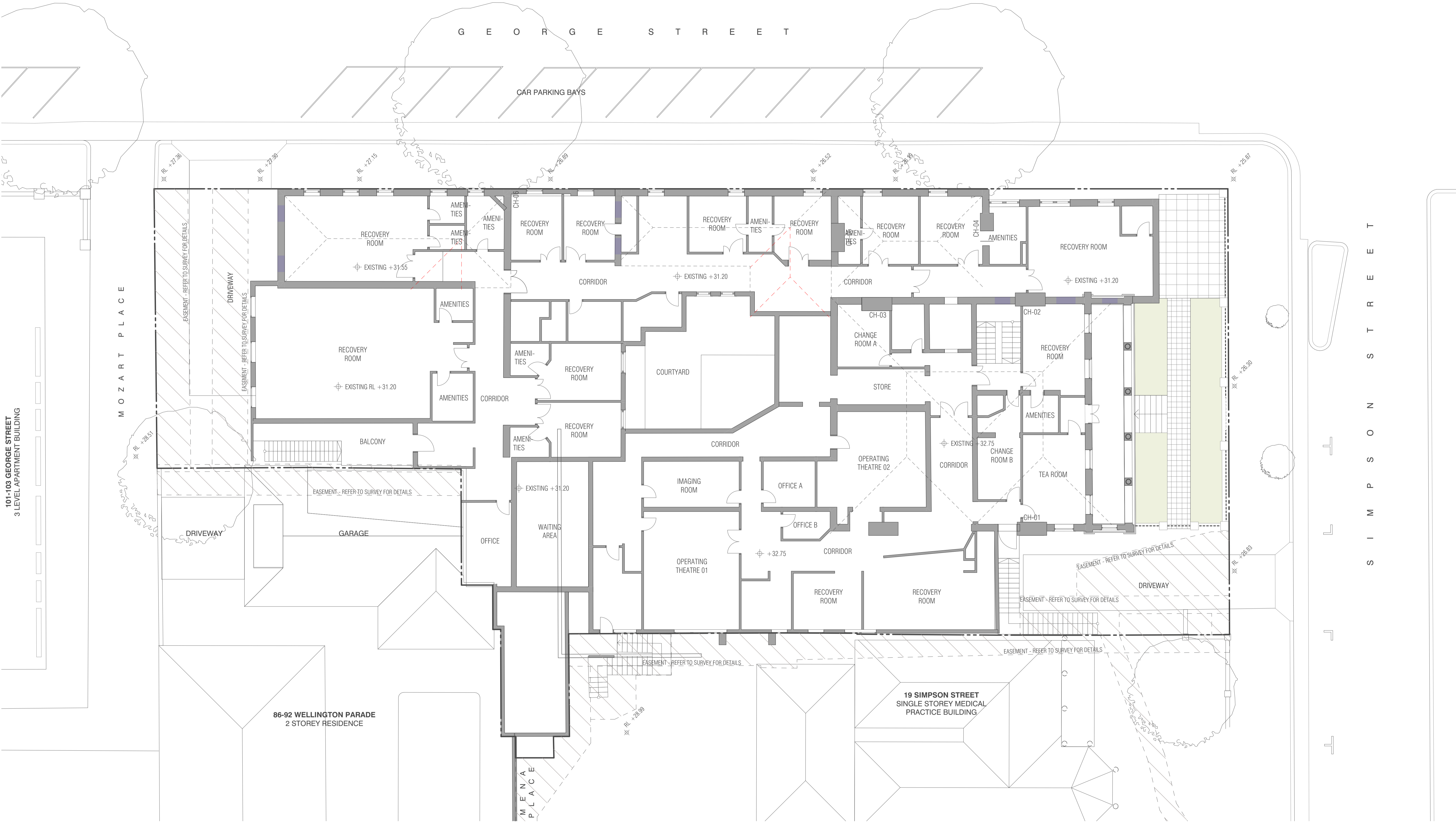


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ISSUE PURPOSE
TOWN PLANNING

REV. A
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101-103 GEORGE STREET
3 LEVEL APARTMENT BUILDING

MOZART PLACE

SIMPSON STREET

86-92 WELLINGTON PARADE
2 STOREY RESIDENCE

19 SIMPSON STREET
SINGLE STOREY MEDICAL
PRACTICE BUILDING

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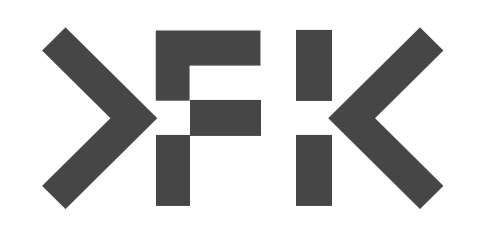
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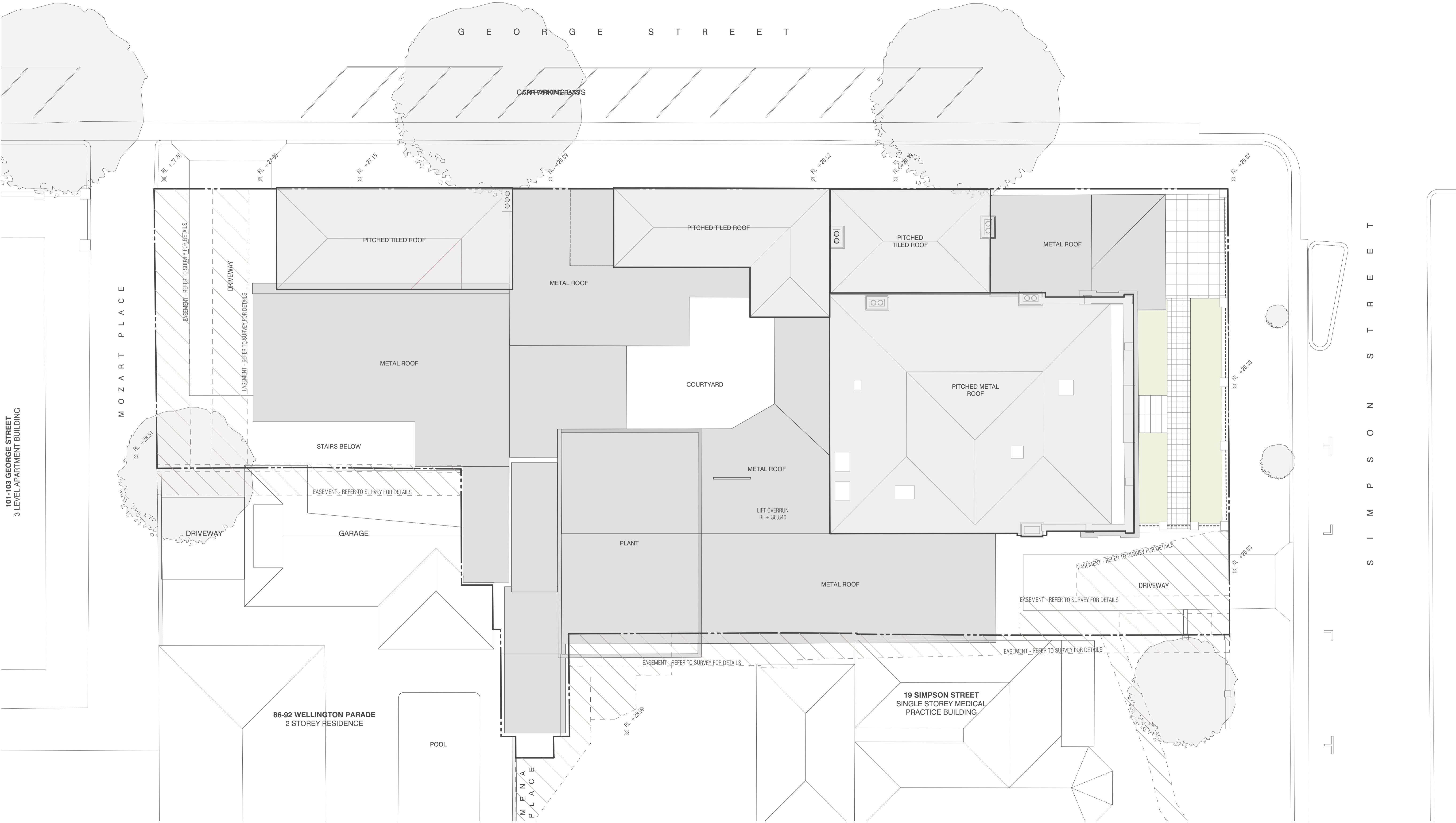
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ISSUE PURPOSE
TOWN PLANNING



REV. A
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101-103 GEORGE STREET
3 LEVEL APARTMENT BUILDING

M O Z A R T P L A C E

S I M P S O N S T R E E T

M E N A
P L A C E

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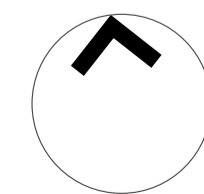
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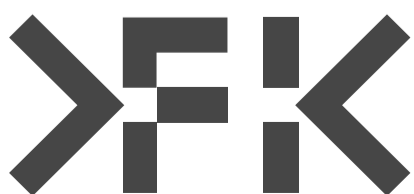


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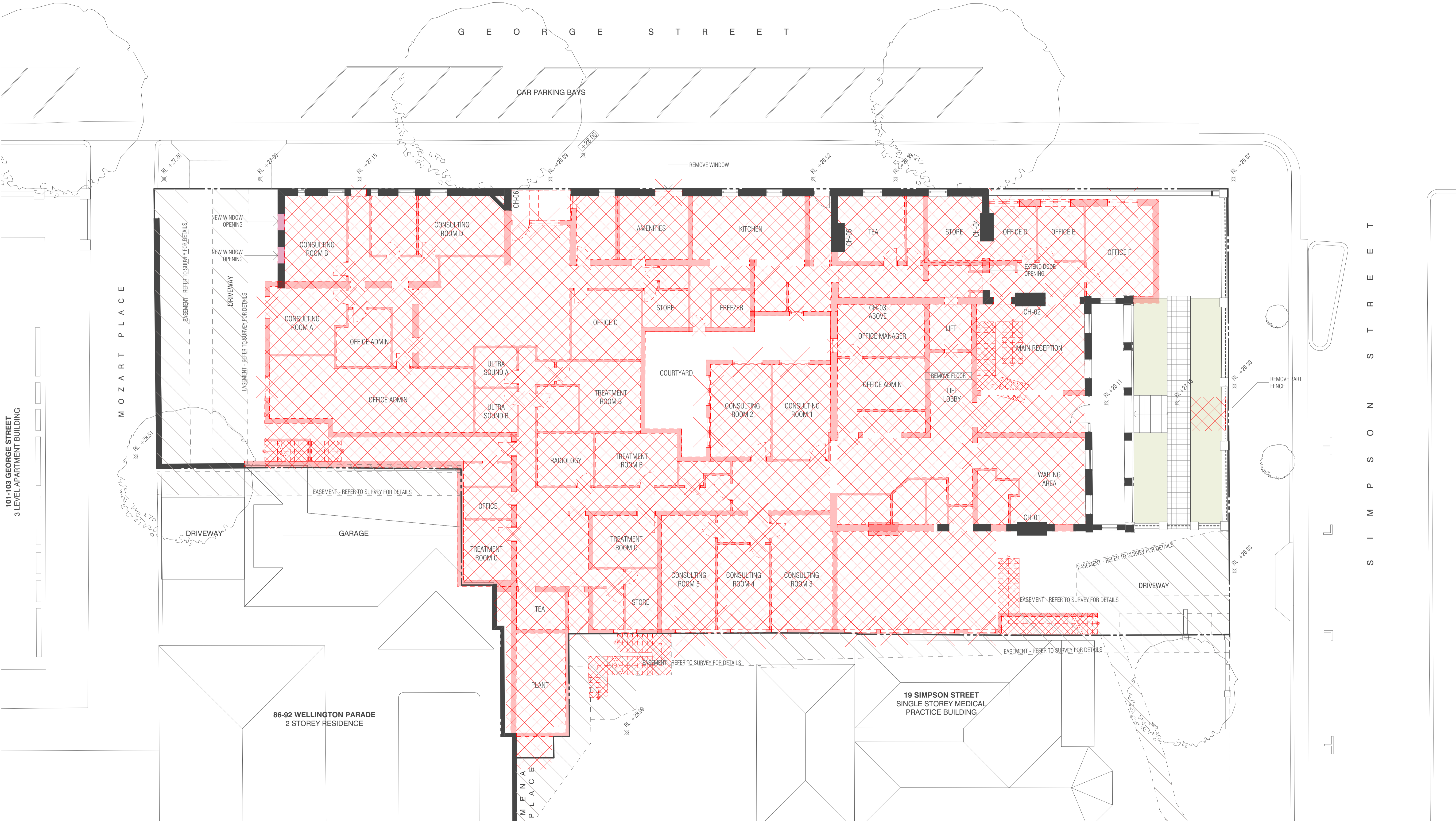
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101-103 GEORGE STREET
3 LEVEL APARTMENT BUILDING

MOZART PLACE

G E O R G E S T R E E T

CAR PARKING BAYS

S I M P S O N S T R E E T

86-92 WELLINGTON PARADE
2 STOREY RESIDENCE

19 SIMPSON STREET
SINGLE STOREY MEDICAL
PRACTICE BUILDING

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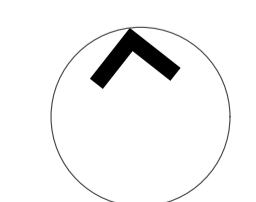
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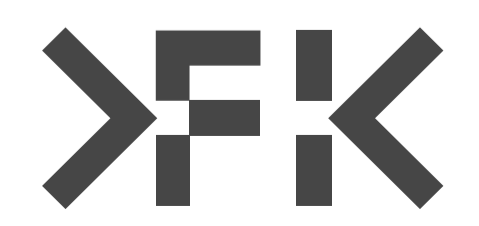


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29 SIMPSON STREET
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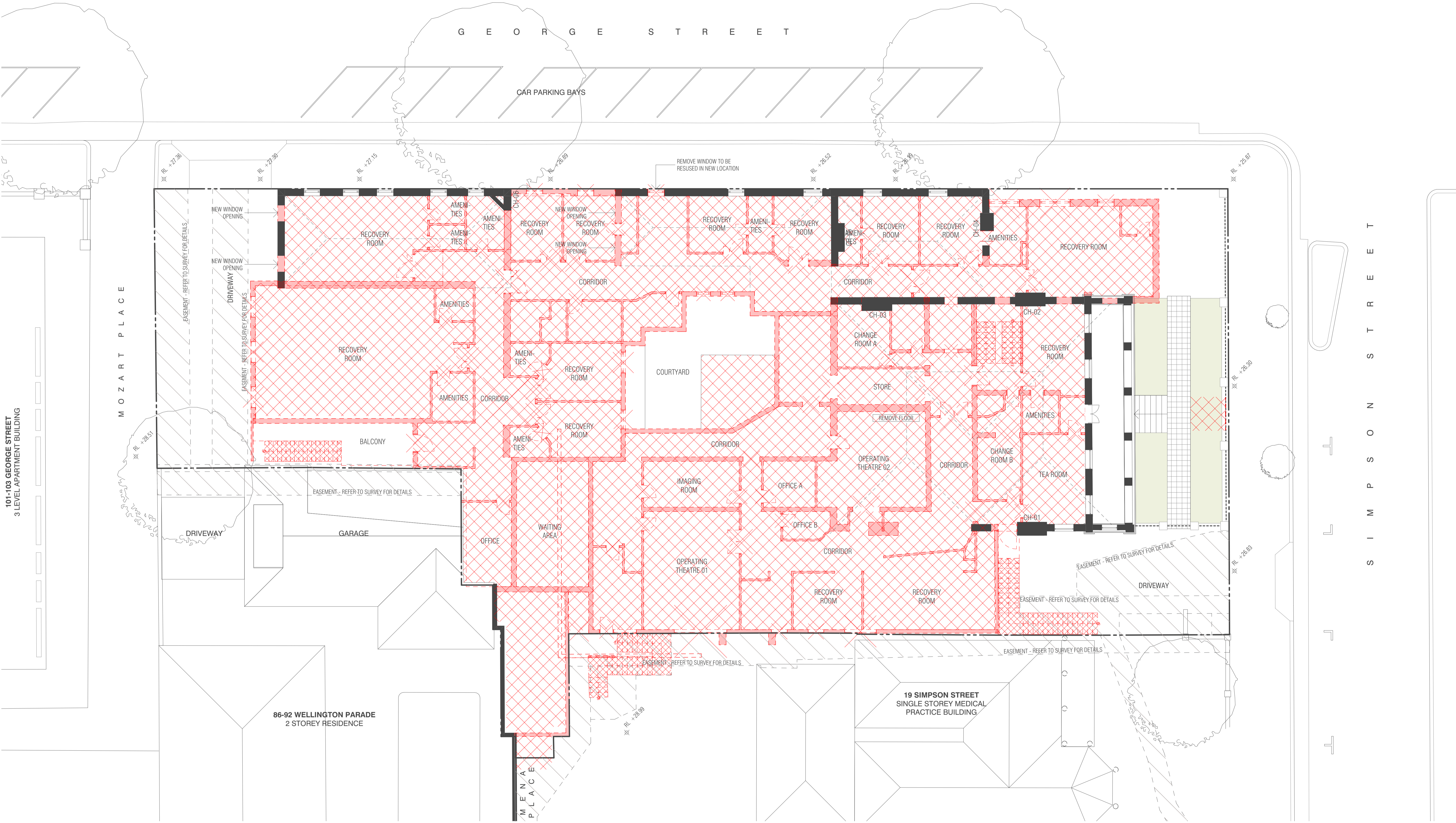
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ISSUE PURPOSE
TOWN PLANNING



REV. A
DRAWING NO. TP013



101-103 GEORGE STREET
3 LEVEL APARTMENT BUILDING

MOZART PLACE

SIMPSON STREET

86-92 WELLINGTON PARADE
2 STOREY RESIDENCE

19 SIMPSON STREET
SINGLE STOREY MEDICAL
PRACTICE BUILDING

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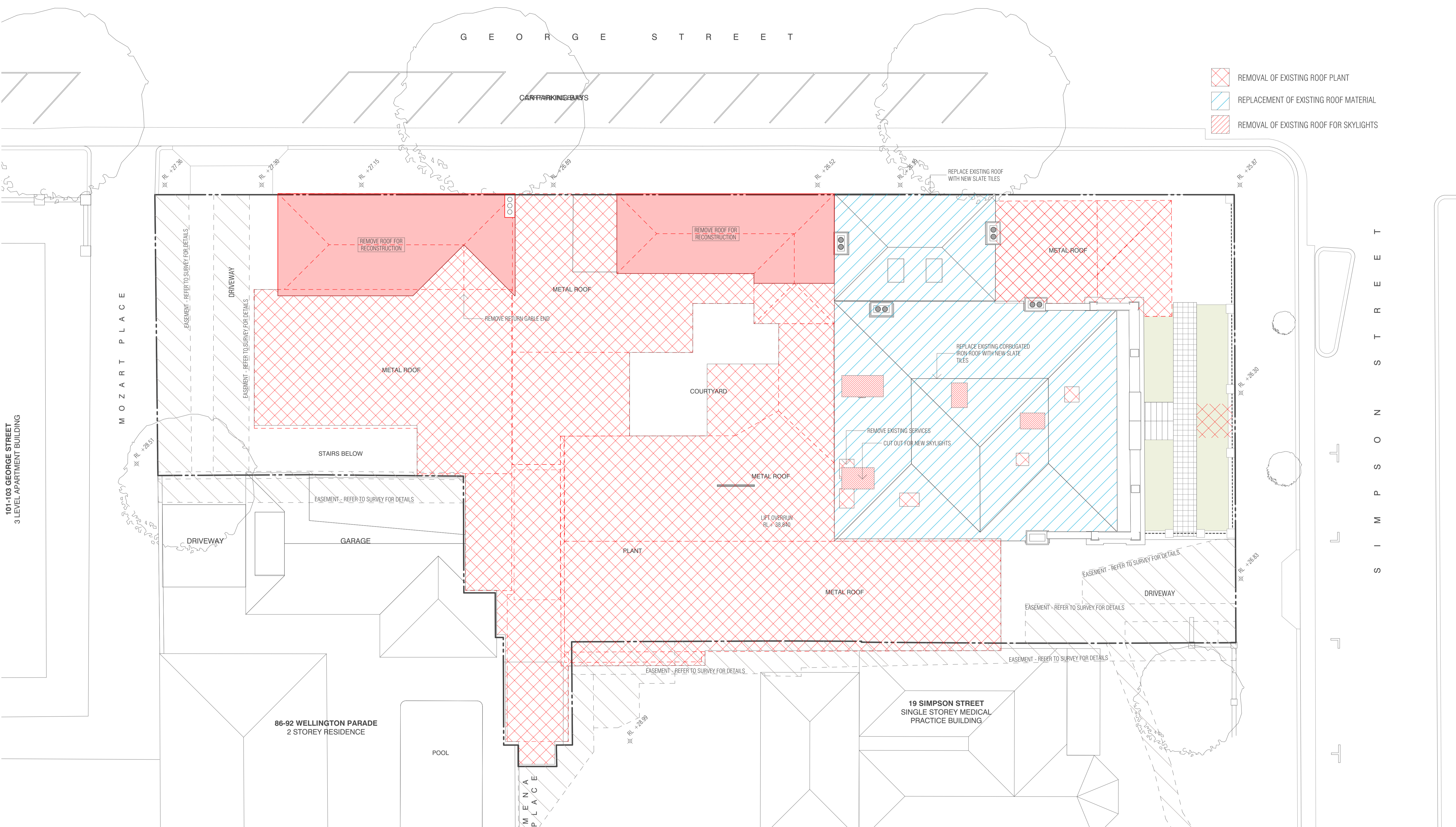
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ISSUE PURPOSE
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REV. A
DRAWING NO. TP014



-  REMOVAL OF EXISTING ROOF PLANT
-  REPLACEMENT OF EXISTING ROOF MATERIAL
-  REMOVAL OF EXISTING ROOF FOR SKYLIGHTS

101-103 GEORGE STREET
3 LEVEL APARTMENT BUILDING

MOZART PLACE

SIMPSON STREET

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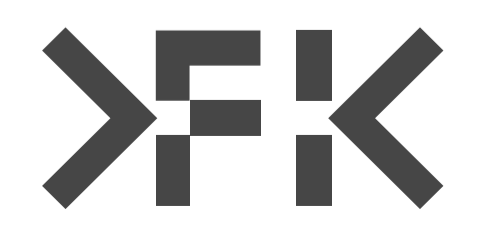
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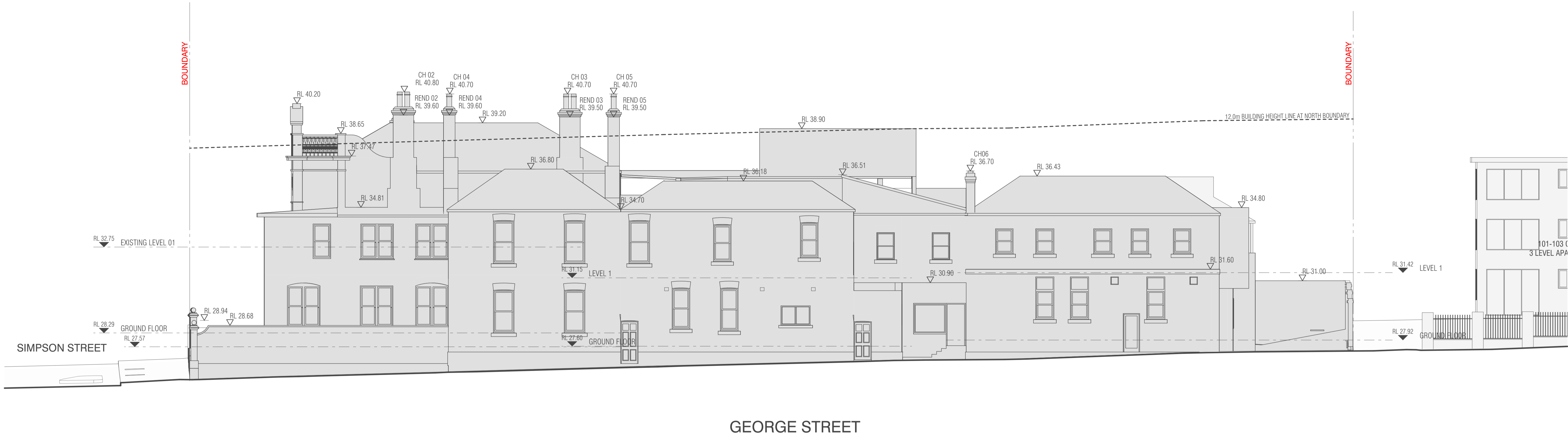
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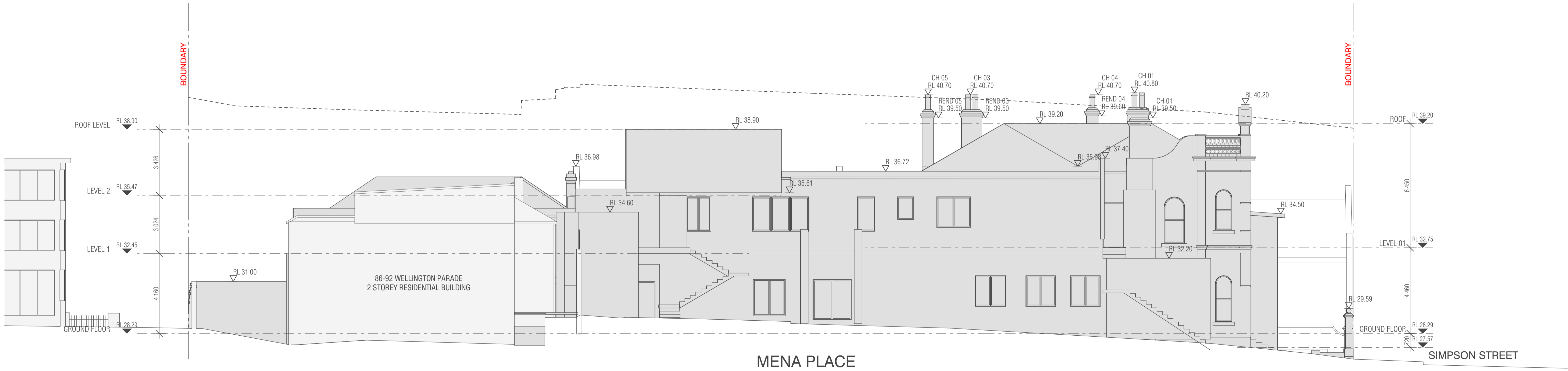
ISSUE PURPOSE
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NORTH ELEVATION EXISTING
SCALE 1:100@A1



SOUTH ELEVATION EXISTING
SCALE 1:100@A1

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REVISION	DATE	BY	REVISION
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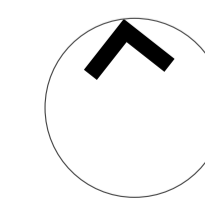
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BW	06.10.2022	RM	02.06.2023	21255	1:100@A1



PROJECT
SIMPSON HOUSE
29 SIMPSON STREET
East Melbourne Victoria 3002

DRAWING TITLE
EXISTING NORTH & SOUTH ELEVATION

FENDER KATSALEDIS
WWW.FKAUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8696 3888
FENDER KATSALEDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
TOWN PLANNING

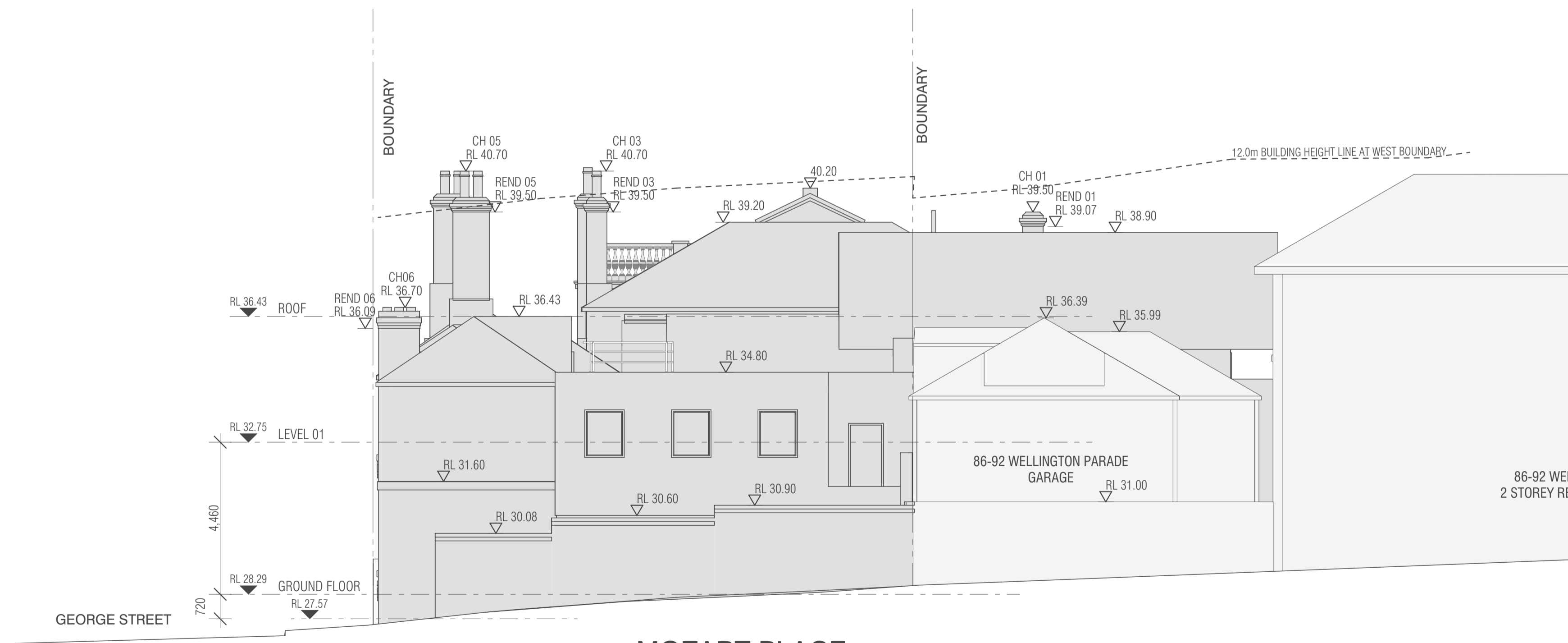


REV. A
DRAWING NO. TP016



SIMPSON STREET

E EAST ELEVATION EXISTING
SCALE 1:100@A1



MOZART PLACE

W WEST ELEVATION
SCALE 1:100@A1

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REVISION	DATE	BY	REVISION
A	06.10.2022	MY	ISSUE FOR TOWN PLANNING

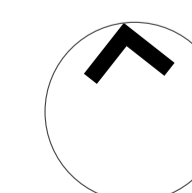
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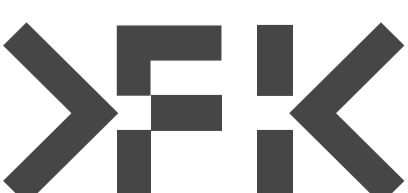


PROJECT
SIMPSON HOUSE
29 SIMPSON STREET
East Melbourne Victoria 3002

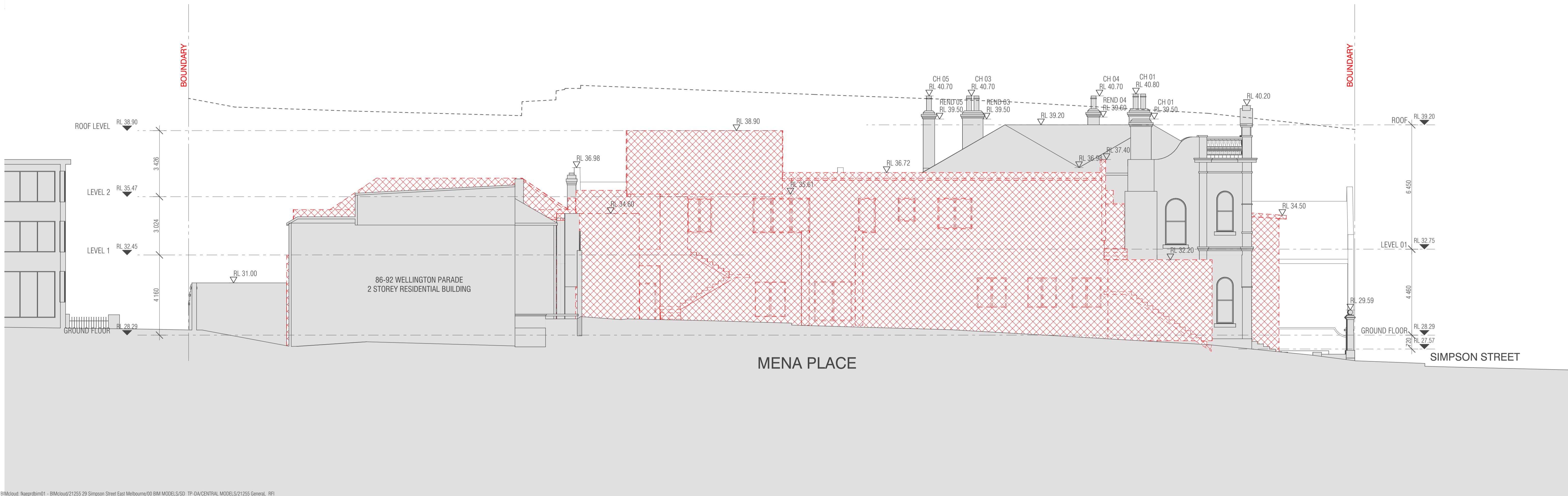
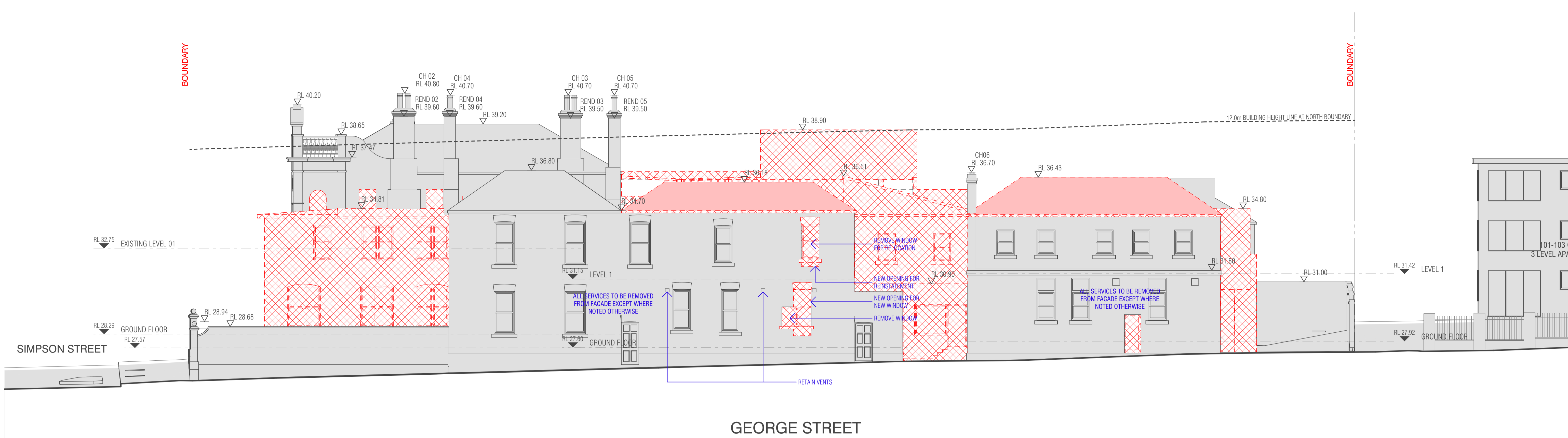
DRAWING TITLE
EXISTING EAST & WEST ELEVATION

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8696 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
TOWN PLANNING



REV. A
DRAWING NO. TP017



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REVISION	DATE	BY
A	06.10.2022	MY
B	07.03.2023	NZ

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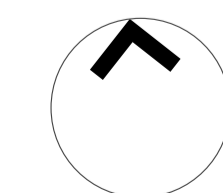
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BW	07.03.2023	RM	02.06.2023	21255	1:100@A1

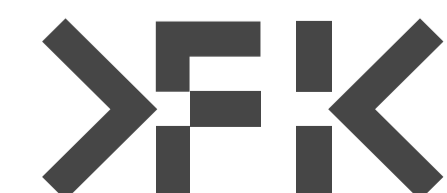


PROJECT
 SIMPSON HOUSE
 29 SIMPSON STREET
 East Melbourne Victoria 3002

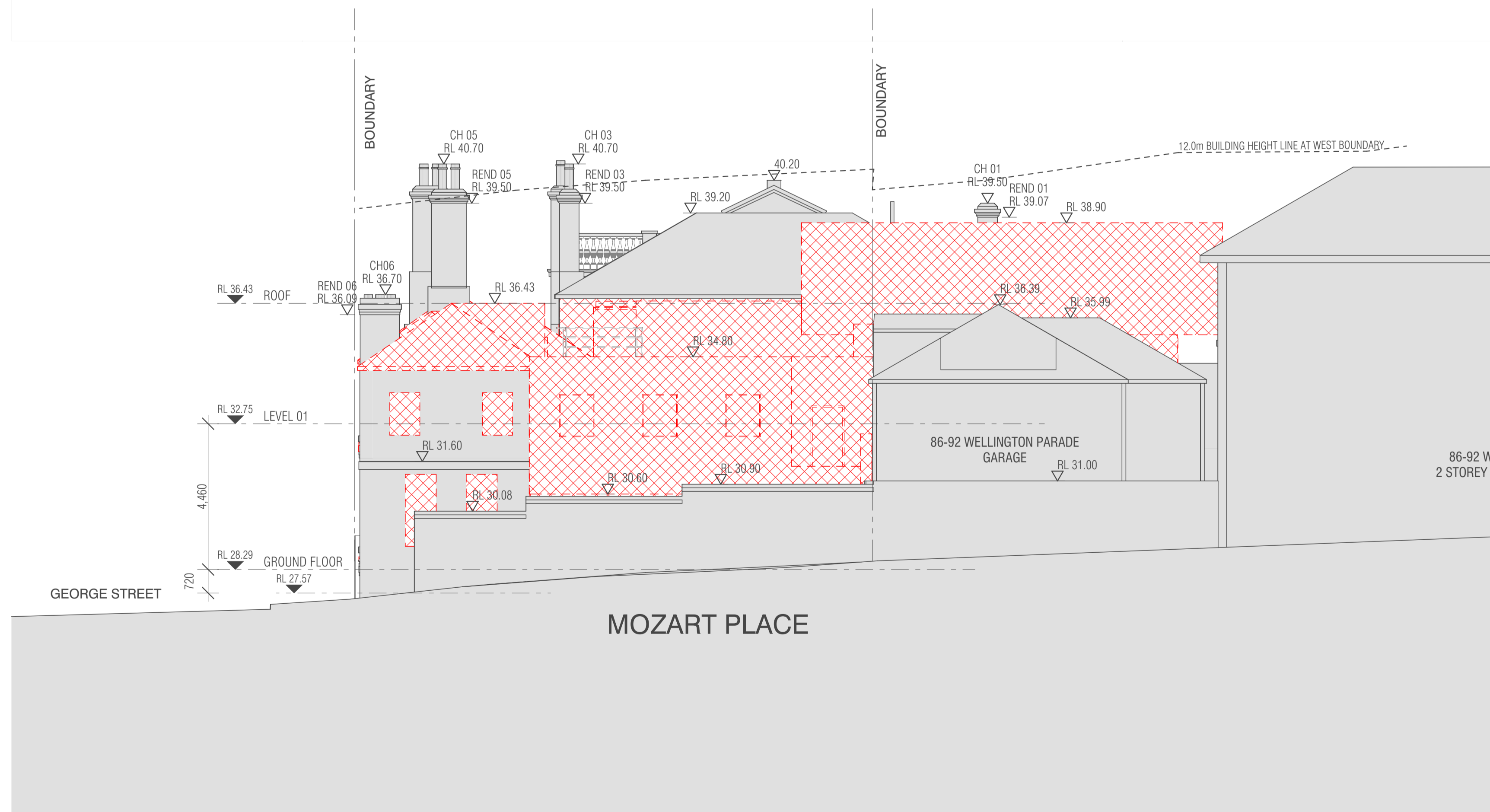
DRAWING TITLE
 DEMOLITION NORTH & SOUTH ELEVATION

FENDER KATSALIDIS
 WWW.FKAUSTRALIA.COM
 2 RIVERSIDE QUAY, SOUTH BANK
 VICTORIA 3006 AUSTRALIA
 TELEPHONE: +61 3 8696 3888
 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE
 TOWN PLANNING



REV. B
DRAWING NO. TP018



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REVISION	DATE	BY
A	06.10.2022	MY
B	07.03.2023	NZ

REVISION

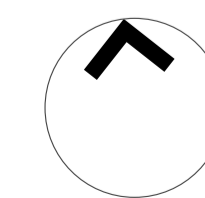
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BW	07.03.2023	RM	02.06.2023	21255	1:100@A1

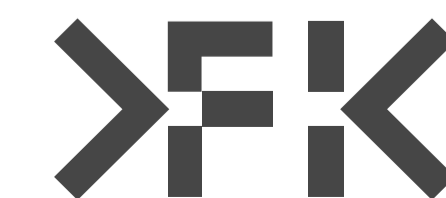


PROJECT
 SIMPSON HOUSE
 29 SIMPSON STREET
 East Melbourne Victoria 3002

DRAWING TITLE
 DEMOLITION EAST & WEST ELEVATION

FENDER KATSALIDIS
 WWW.FKAUSTRALIA.COM
 2 RIVERSIDE QUAY, SOUTH BANK
 VICTORIA 3006 AUSTRALIA
 TELEPHONE: +61 3 8696 3888
 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

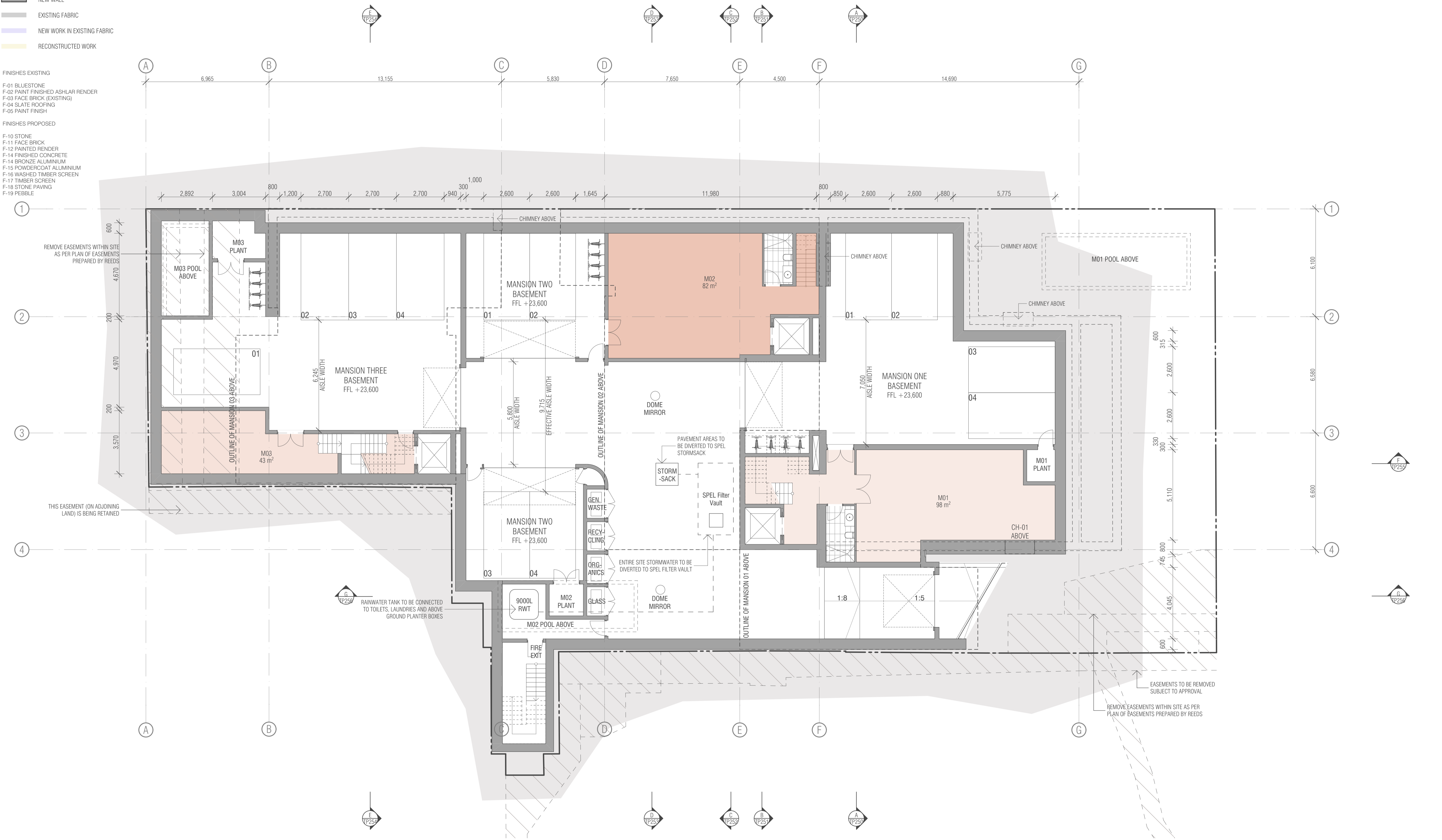
ISSUE PURPOSE
 TOWN PLANNING



REV. B
DRAWING NO. TP019

- LEGEND**
- EXISTING WALL TO BE RETAINED
 - RECONSTRUCTED WALL
 - NEW WALL
 - EXISTING FABRIC
 - NEW WORK IN EXISTING FABRIC
 - RECONSTRUCTED WORK

- FINISHES EXISTING**
- F-01 BLUESTONE
 - F-02 PAINT FINISHED ASHLAR RENDER
 - F-03 FACE BRICK (EXISTING)
 - F-04 SLATE ROOFING
 - F-05 PAINT FINISH
- FINISHES PROPOSED**
- F-10 STONE
 - F-11 FACE BRICK
 - F-12 PAINTED RENDER
 - F-14 FINISHED CONCRETE
 - F-14 BRONZE ALUMINIUM
 - F-15 POWDERCOAT ALUMINIUM
 - F-16 WASHED TIMBER SCREEN
 - F-17 TIMBER SCREEN
 - F-18 STONE PAVING
 - F-19 PEBBLE



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A	BW
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BW	06.10.2022	RM	02.06.2023	21255	1:100@A1

PROJECT

SIMPSON HOUSE
29 SIMPSON STREET
East Melbourne Victoria 3002

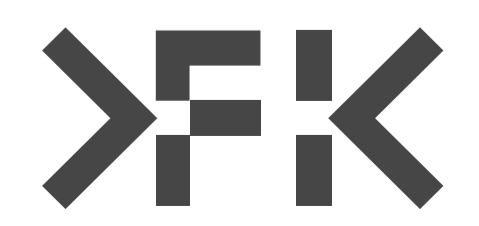
DRAWING TITLE

BASEMENT FLOOR PLAN

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTH BANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8696 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE

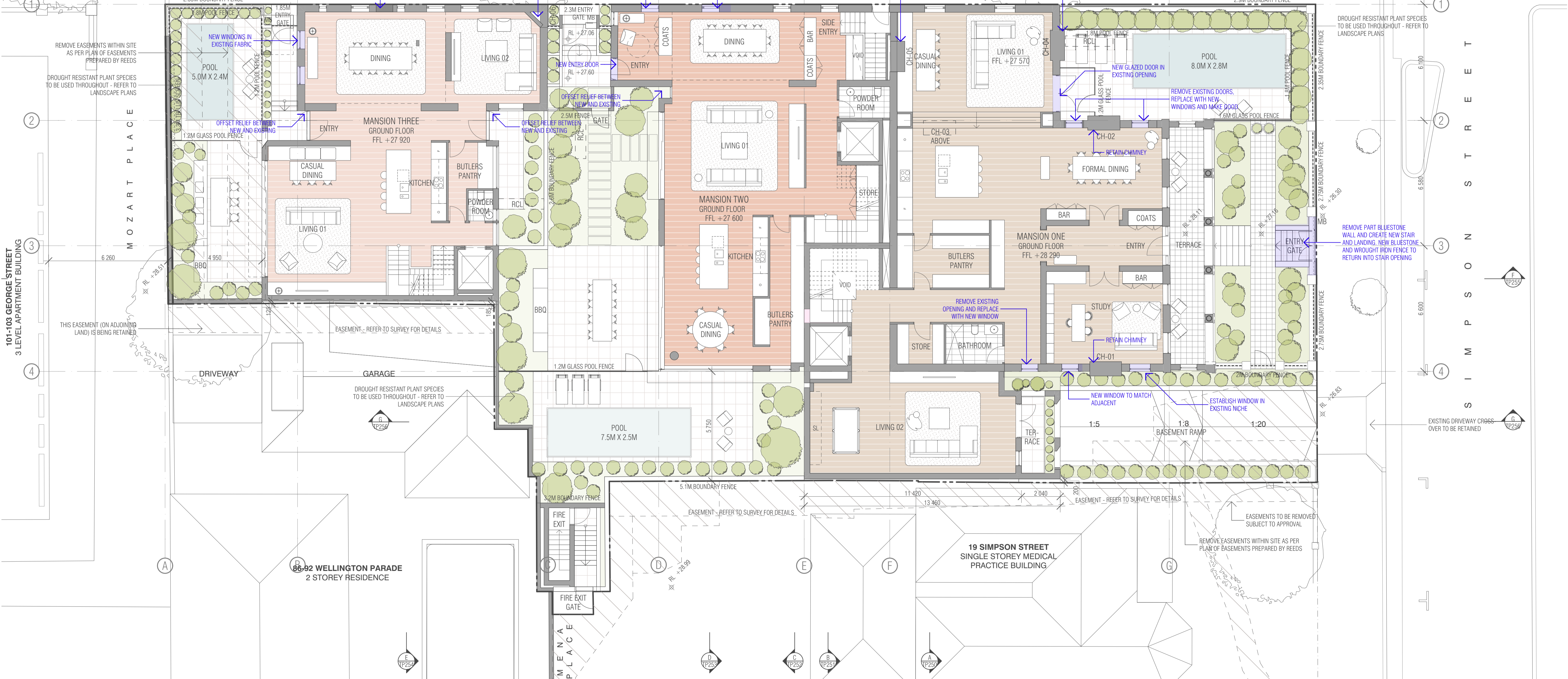
TOWN PLANNING



REV. A
DRAWING NO. TP099

- LEGEND**
- EXISTING WALL TO BE RETAINED
 - RECONSTRUCTED WALL
 - NEW WALL
 - EXISTING FABRIC
 - NEW WORK IN EXISTING FABRIC
 - RECONSTRUCTED WORK

- FINISHES EXISTING**
- F-01 BLUESTONE
 - F-02 PAINT FINISHED ASH/R RENDER
 - F-03 FACE BRICK (EXISTING)
 - F-04 SLATE ROOFING
 - F-05 PAINT FINISH
- FINISHES PROPOSED**
- F-10 STONE
 - F-11 FACE BRICK
 - F-12 PAINTED RENDER
 - F-14 FINISHED CONCRETE
 - F-14 BRONZE ALUMINIUM
 - F-15 POWDERCOAT ALUMINIUM
 - F-16 WASHED TIMBER SCREEN
 - F-17 TIMBER SCREEN
 - F-18 STONE PAVING
 - F-19 PEBBLE



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BW	06.10.2022	RM	02.06.2023	21255	1:100@A1

PROJECT

SIMPSON HOUSE
29 SIMPSON STREET
East Melbourne Victoria 3002

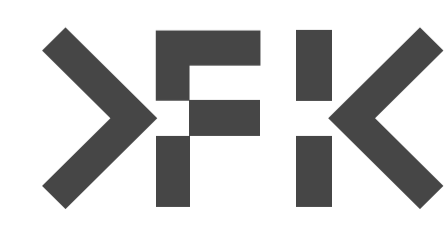
DRAWING TITLE

GROUND FLOOR PLAN

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTH BANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8696 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE

TOWN PLANNING



REV. A
DRAWING NO. TP100

- LEGEND**
- EXISTING WALL TO BE RETAINED
 - RECONSTRUCTED WALL
 - NEW WALL
 - EXISTING FABRIC
 - NEW WORK IN EXISTING FABRIC
 - RECONSTRUCTED WORK

- FINISHES EXISTING**
- F-01 BLUESTONE
 - F-02 PAINT FINISHED ASH/FA RENDR
 - F-03 FACE BRICK (EXISTING)
 - F-04 SLATE ROOFING
 - F-05 PAINT FINISH
- FINISHES PROPOSED**
- F-10 STONE
 - F-11 FACE BRICK
 - F-12 PAINTED RENDR
 - F-14 FINISHED CONCRETE
 - F-14 BRONZE ALUMINIUM
 - F-15 POWDERCOAT ALUMINIUM
 - F-16 WASHED TIMBER SCREEN
 - F-17 TIMBER SCREEN
 - F-18 STONE PAVING
 - F-19 PEBBLE



101-103 GEORGE STREET
3 LEVEL APARTMENT BUILDING

86-92 WELLINGTON PARADE
2 STOREY RESIDENCE

19 SIMPSON STREET
SINGLE STOREY MEDICAL
PRACTICE BUILDING

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A		06.10.2022

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BW	06.10.2022	RM	02.06.2023	21255	1:100@A1

PROJECT

SIMPSON HOUSE
29 SIMPSON STREET
East Melbourne Victoria 3002

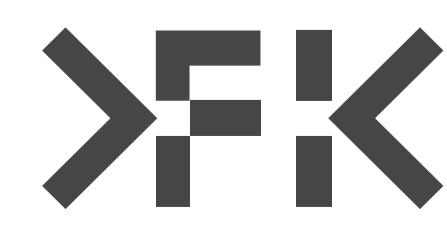
DRAWING TITLE

FIRST FLOOR PLAN

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTH BANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8696 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE

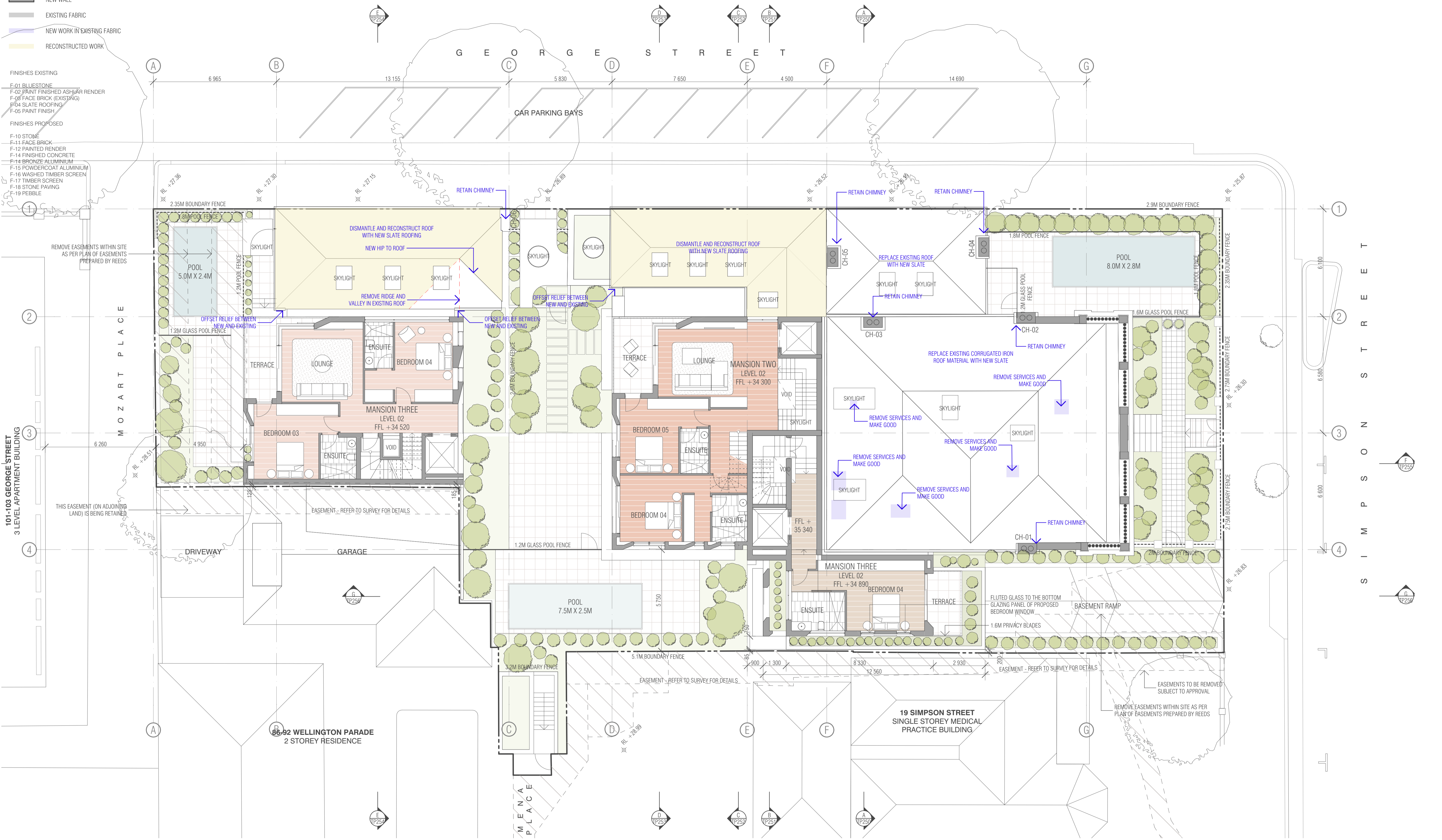
TOWN PLANNING



REV. A
DRAWING NO. TP101

- LEGEND**
- EXISTING WALL TO BE RETAINED
 - RECONSTRUCTED WALL
 - NEW WALL
 - EXISTING FABRIC
 - NEW WORK IN EXISTING FABRIC
 - RECONSTRUCTED WORK

- FINISHES EXISTING**
- F-01 BLUESTONE
 - F-02 PAINT FINISHED ASH/FA RENDER
 - F-03 FACE BRICK (EXISTING)
 - F-04 SLATE ROOFING
 - F-05 PAINT FINISH
- FINISHES PROPOSED**
- F-10 STONE
 - F-11 FACE BRICK
 - F-12 PAINTED RENDER
 - F-14 FINISHED CONCRETE
 - F-14 BRONZE ALUMINIUM
 - F-15 POWDERCOAT ALUMINIUM
 - F-16 WASHED TIMBER SCREEN
 - F-17 TIMBER SCREEN
 - F-18 STONE PAVING
 - F-19 PEBBLE



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REVISION	ISSUED FOR TOWN PLANNING	NZ	07.03.2023
> C	ISSUED FOR TOWN PLANNING	NZ	31.05.2023

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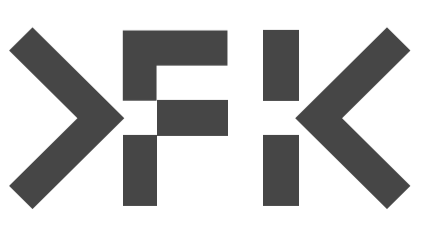
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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
BW	31.05.2023	RM	02.06.2023	21255	1:100@A1

PROJECT

SIMPSON HOUSE
29 SIMPSON STREET
East Melbourne Victoria 3002

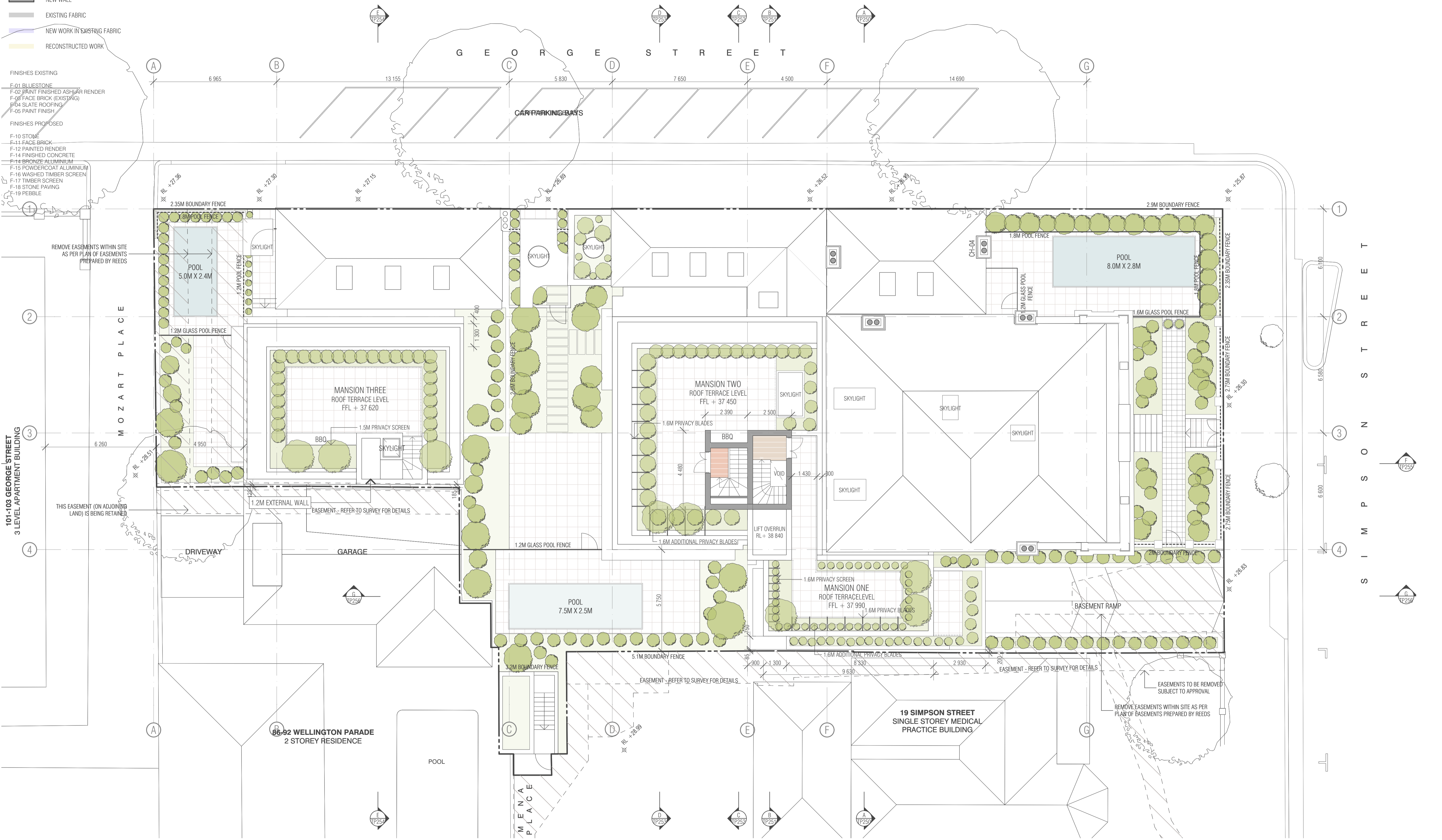
FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTHBANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8696 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



ISSUE PURPOSE	REV.	DRAWING NO.
TOWN PLANNING	C	TP102

- LEGEND**
- EXISTING WALL TO BE RETAINED
 - RECONSTRUCTED WALL
 - NEW WALL
 - EXISTING FABRIC
 - NEW WORK IN EXISTING FABRIC
 - RECONSTRUCTED WORK

- FINISHES EXISTING**
- F-01 BLUESTONE
 - F-02 PAINT FINISHED ASH/FA RENDER
 - F-03 FACE BRICK (EXISTING)
 - F-04 SLATE ROOFING
 - F-05 PAINT FINISH
- FINISHES PROPOSED**
- F-10 STONE
 - F-11 FACE BRICK
 - F-12 PAINTED RENDER
 - F-14 FINISHED CONCRETE
 - F-14 BRONZE ALUMINIUM
 - F-15 POWDERCOAT ALUMINIUM
 - F-16 WASHED TIMBER SCREEN
 - F-17 TIMBER SCREEN
 - F-18 STONE PAVING
 - F-19 PEBBLE



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REVISION	ISSUED FOR TOWN PLANNING	NZ	07.03.2023
> C	ISSUED FOR TOWN PLANNING	NZ	31.05.2023

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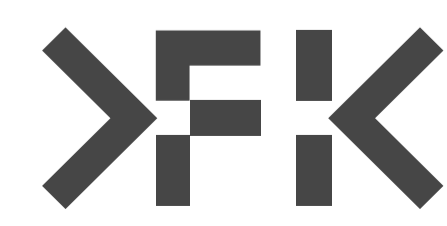
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BW	31.05.2023	RM	02.06.2023	21255	1:100@A1

PROJECT

SIMPSON HOUSE
29 SIMPSON STREET
East Melbourne Victoria 3002

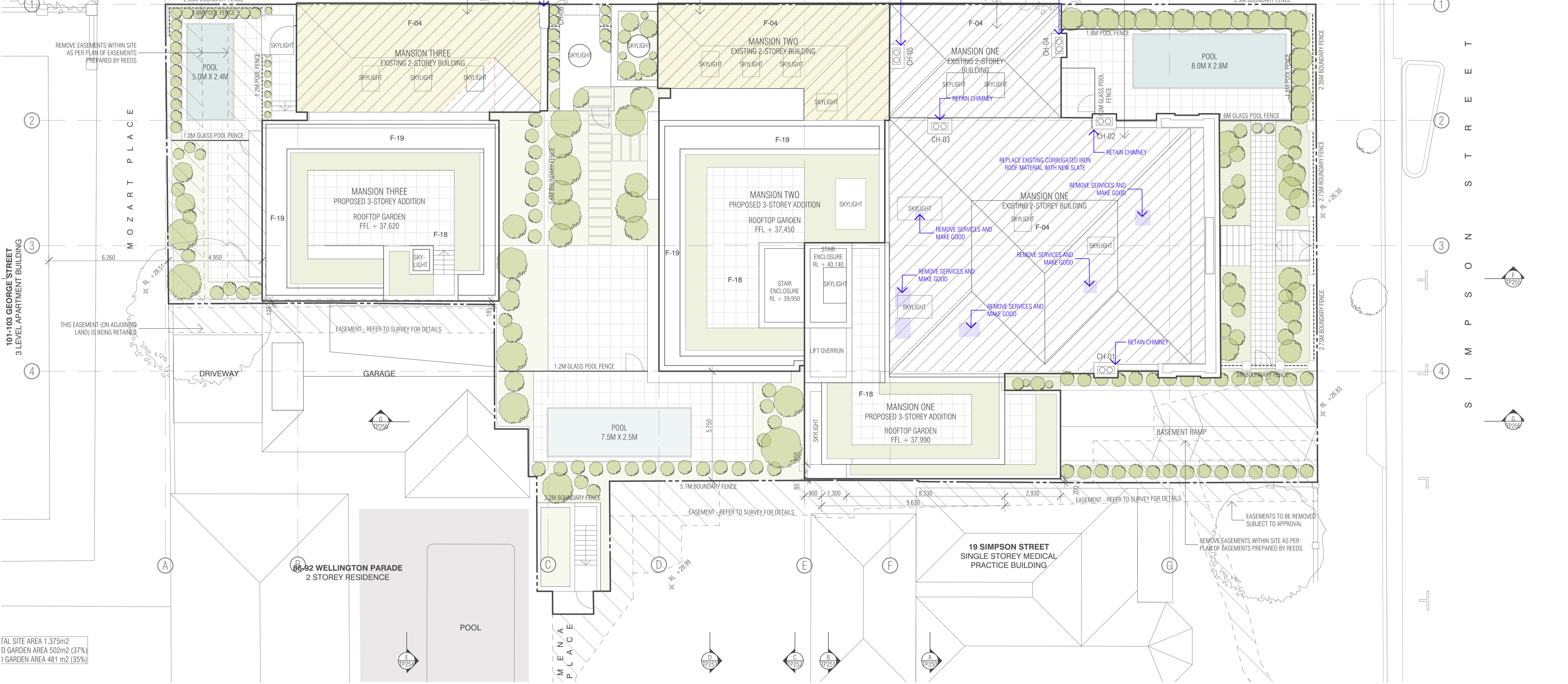
FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTH BANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8696 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



ISSUE PURPOSE	REV.	DRAWING NO.
TOWN PLANNING	C	TP103

- LEGEND**
- EXISTING WALL TO BE RETAINED
 - RECONSTRUCTED WALL
 - NEW WALL
 - EXISTING FABRIC
 - NEW WORK IN EXISTING FABRIC
 - RECONSTRUCTED WORK

- FINISHES EXISTING**
- F-01 BLUESTONE
 - F-02 PAINT FINISHED ASH/R RENDER
 - F-03 FACE BRICK (EXISTING)
 - F-04 SLATE ROOFING
 - F-05 PAINT FINISH
- FINISHES PROPOSED**
- F-10 STONE
 - F-11 FACE BRICK
 - F-12 PAINTED RENDER
 - F-14 FINISHED CONCRETE
 - F-14 BRONZE ALUMINIUM
 - F-15 POWDERCOAT ALUMINIUM
 - F-16 WASHED TIMBER SCREEN
 - F-17 TIMBER SCREEN
 - F-18 STONE PAVING
 - F-19 PEBBLE



TOTAL SITE AREA 1,375m²
 D GARDEN AREA 502m² (37%)
 GARDEN AREA 481 m² (35%)

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REVISION	ISSUE FOR TOWN PLANNING	DATE
A	ISSUE FOR TOWN PLANNING	06.10.2022
B	ISSUE FOR TOWN PLANNING	07.03.2023

QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
BW	07.03.2023	RM	02.06.2023	21255	1:100@A1

PROJECT

SIMPSON HOUSE
 29 SIMPSON STREET
 East Melbourne Victoria 3002

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 2 RIVERSIDE QUAY, SOUTH BANK
 VICTORIA 3006 AUSTRALIA
 TELEPHONE: +61 3 8696 3888
 FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

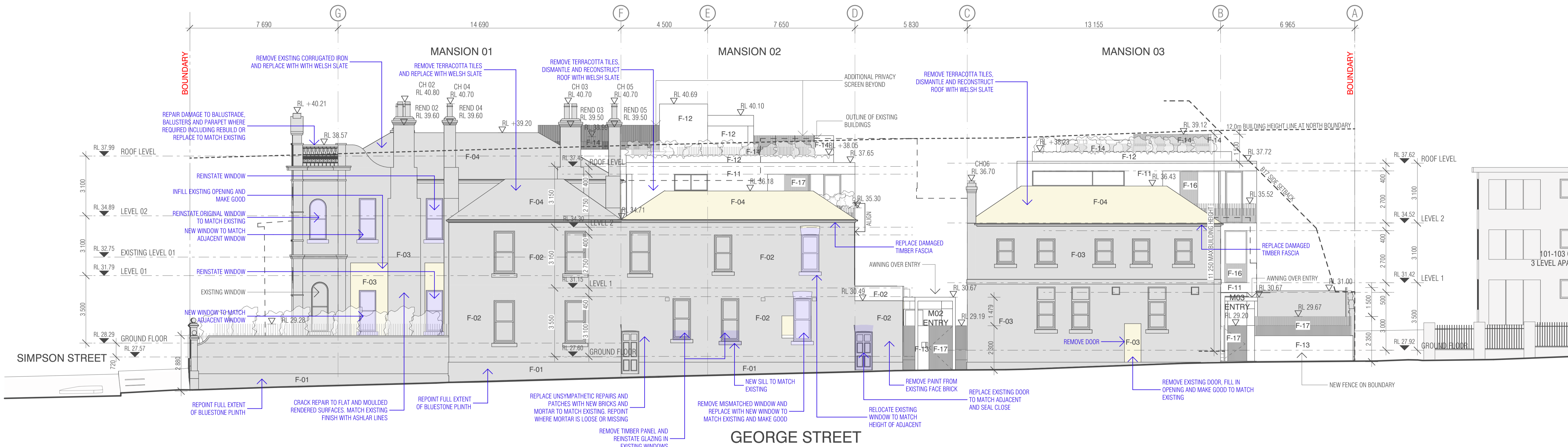


ISSUE PURPOSE

TOWN PLANNING

REV. DRAWING NO.

B TP104



- LEGEND**
- EXISTING WALL TO BE RETAINED
 - RECONSTRUCTED WALL
 - NEW WALL
 - EXISTING FABRIC
 - NEW WORK IN EXISTING FABRIC
 - RECONSTRUCTED WORK
- FINISHES EXISTING**
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 - F-19 PEBBLE

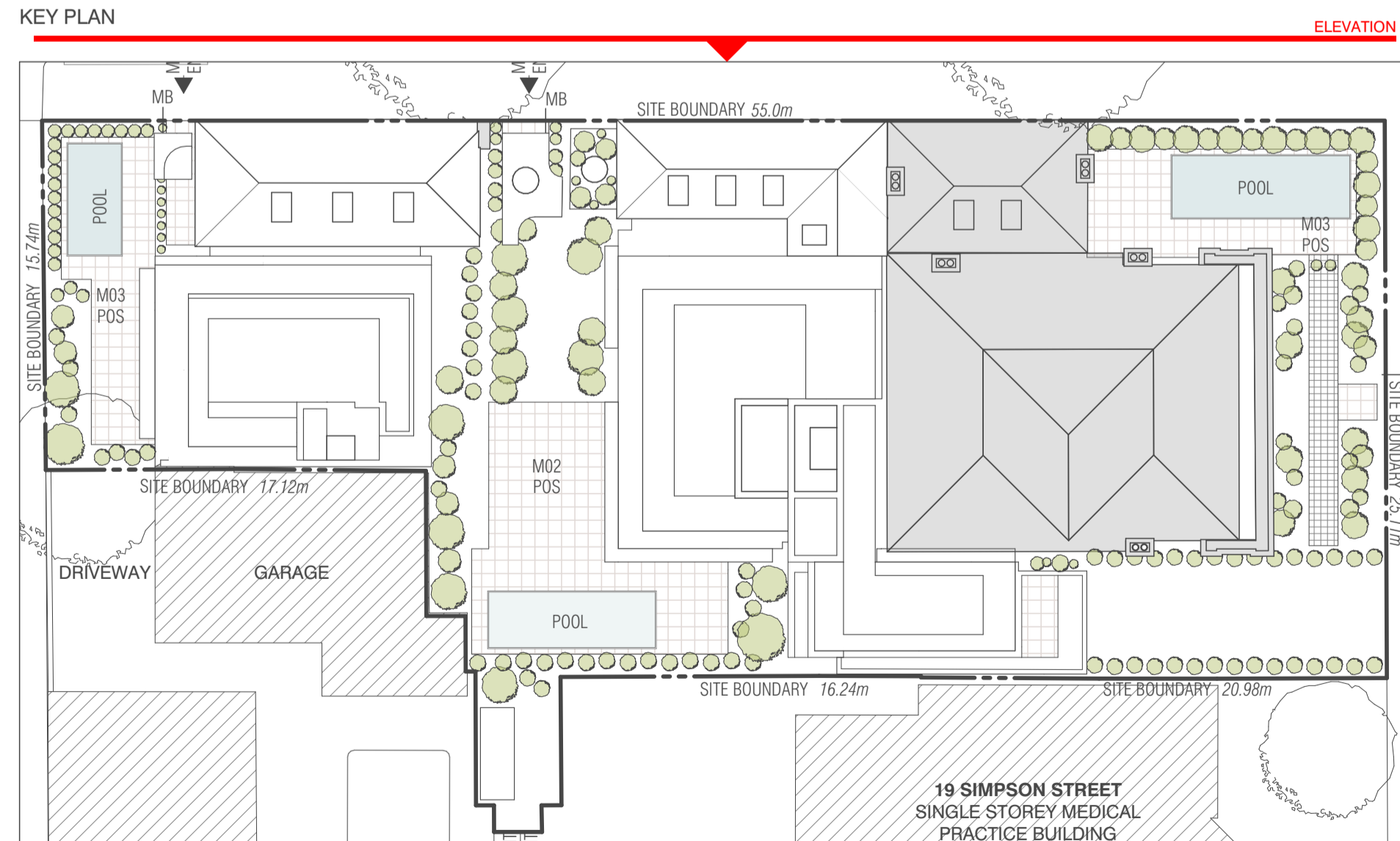
ESD NOTES:

- DOUBLE GLAZING TO BE USED FOR ALL GLAZED DOORS AND WINDOWS TO HABITAT ROOMS.
- SHOWER HEAD & WC - 4 STAR WELS RATING
- DISHWASHER, KITCHEN & BATHROOM TAP - 5 STAR WELS RATING
- 4W/m2 TYPICAL LIGHTING DENSITY
- LIGHTING SENSORS FOR EXTERNAL LIGHTING
- NATIVE AND DROUGHT RESISTANT PLANTS TO BE USED - REFER TO LANDSCAPE PLANS

CONSERVATION NOTES:

- WASH DOWN ALL FACADES AND PARAPETS.
- PROVIDE PROTECTION TO RETAINED FABRIC.
- REMOVE REDUNDANT PIPES, SERVICES AND THE LIKE. REPAIR AND MAKE GOOD SUBSTRATE TO MATCH ADJACENT.
- IN NEW OPENINGS, CAREFULLY DISMANTLE MASONRY WALL AND JOINERY AND STORE IF TO BE REUSED.
- PREPARE AND PAINT ALL PREVIOUSLY PAINTED SURFACES INCLUDING TIMBER WORKS, METAL WORK AND RENDER WORK.
- INSTALL NEW WELSH SLATE TO ALL RETAINED/RECONSTRUCTED ROOFS WITH ASSOCIATED GALVANISED STEEL RIDGE CAPPING, VALLEY GUTTERS AND HIP CAPPING. INSTALL LEAD FLASHINGS WHERE REQUIRED.
- REMOVE EXISTING TERRACOTTA TILES AND INSTALL NEW WELSH SLATE.
- REPLACE DAMAGED RAINWATER GOODS INCLUDING BOX GUTTERS, COVER FLASHINGS, EAVES GUTTERS, DOWNPIPES AND RAINWATER HEADS ALL TO FUTURE HYDRAULIC ENGINEERS SPECIFICATION.
- REMOVE DIRT AND VEGETATION FROM RETAINED RAINWATER GOODS, REVISE FALLS AND ENSURE DRAINAGE TO STORMWATER SYSTEM.

- REPLACE DAMAGED CHIMNEY FLASHINGS AND METAL CAPPINGS.
- RE-PARGE COPING OF CHIMNEY INCLUDING FLAT/MOULDED RENDER WORK DISMANTLE AND REBUILD DISLODGED BLUESTONE/CAST IRON PIER TO SOUTH-EAST CORNER BOUNDARY FENCE.
- REPOINT FULL EXTENT OF BLUESTONE PLINTH.
- NEW PEDESTRIAN GATE TO EAST BOUNDARY TO MATCH EXISTING.
- REPAIR DAMAGED BLUESTONE BLOCKS TO BOUNDARY PLINTH.
- CLEAN TESSELLATED TILES AND REPAIR/REPLACE DAMAGED TILES AND GROUT.
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- NEW TESSELLATED TILE PAVING TO MATCH EXISTING TO PROPOSED PEDESTRIAN ENTRY.
- REPAIR AND RESTORATION OF TIMBER WINDOW FRAMES AND THE INSTALLATION OF NEW TIMBER WINDOW SASHES WITH NEW DOUBLE GLAZING.
- REPLACE DAMAGED GLAZING PUTTY AND TIMBER BEADS WHERE REQUIRED.
- TIMBER SPLICE REPAIRS TO EXISTING DOORS AND WINDOWS AS REQUIRED.
- REPLACE EXISTING GLASS PANES WITH DOUBLE GLAZED PANES.



REVISION	ISSUED FOR TOWN PLANNING	NZ	07.03.2023	REVISION	ISSUED FOR TOWN PLANNING	NZ	31.05.2023
> C	ISSUED FOR TOWN PLANNING	NZ	31.05.2023				

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BW	31.05.2023	RM	02.06.2023	21255	1:100@A1

PROJECT

SIMPSON HOUSE
29 SIMPSON STREET
East Melbourne Victoria 3002

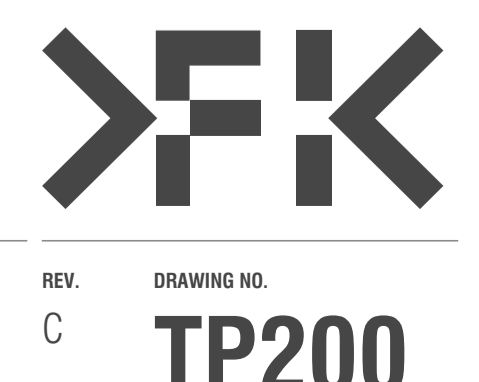
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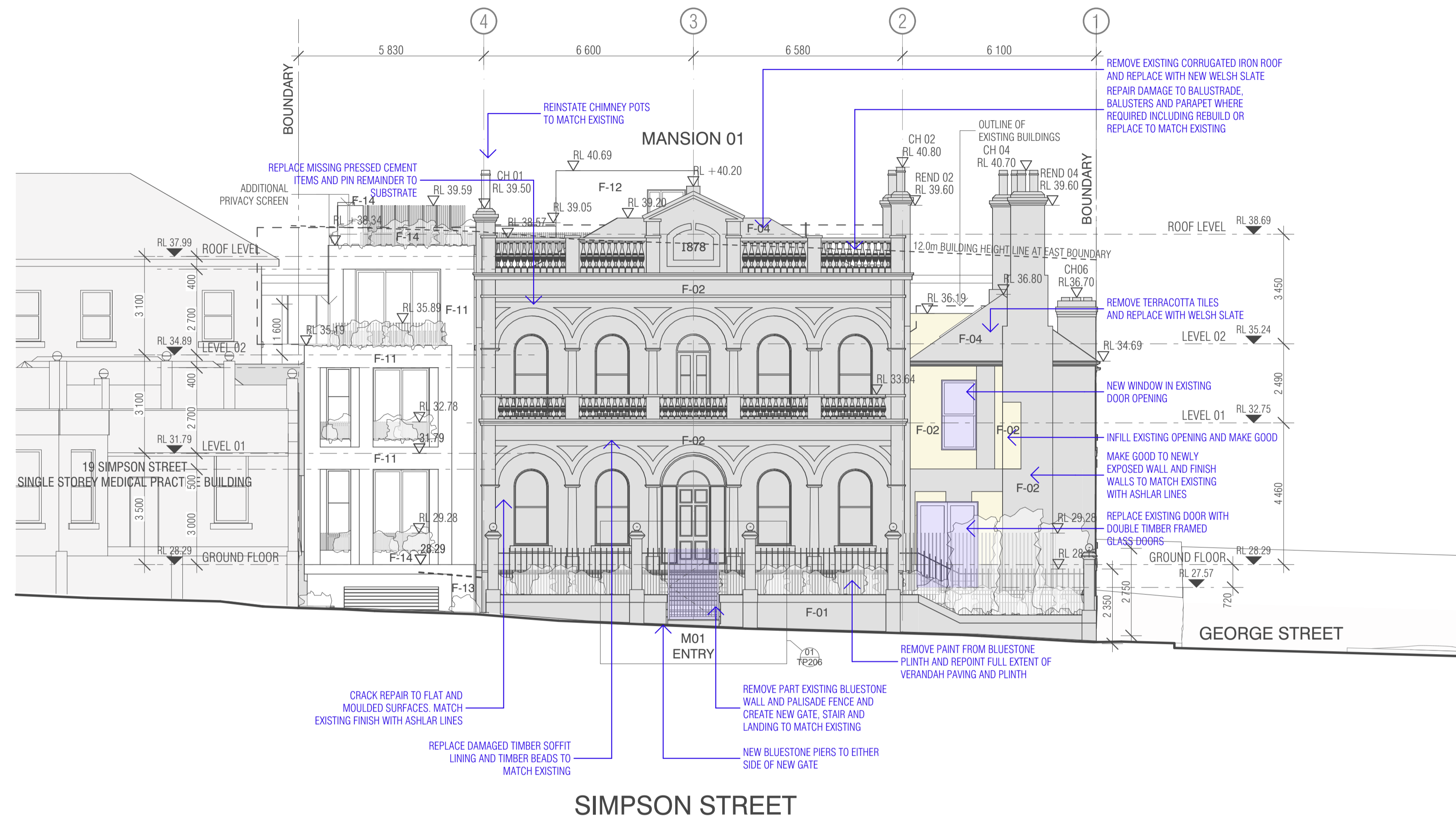
NORTH ELEVATION

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WWW.FKAUSTRALIA.COM
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VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8696 9888
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE

TOWN PLANNING





SIMPSON STREET

- LEGEND**
- EXISTING WALL TO BE RETAINED
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 - NEW WALL
 - EXISTING FABRIC
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ESD NOTES:

DOUBLE GLAZING TO BE USED FOR ALL GLAZED DOORS AND WINDOWS TO HABITABLE ROOMS.

SHOWER HEAD & WC - 4 STAR WELS RATING

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4W/m2 TYPICAL LIGHTING DENSITY

LIGHTING SENSORS FOR EXTERNAL LIGHTING

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CONSERVATION NOTES:

WASH DOWN ALL FACADES AND PARAPETS.

PROVIDE PROTECTION TO RETAINED FABRIC.

REMOVE REDUNDANT PIPES, SERVICES AND THE LIKE. REPAIR AND MAKE GOOD SUBSTRATE TO MATCH ADJACENT.

IN NEW OPENINGS, CAREFULLY DISMANTLE MASONRY WALL AND JOINERY AND STORE IF TO BE REUSED.

PREPARE AND PAINT ALL PREVIOUSLY PAINTED SURFACES INCLUDING TIMBER WORKS, METAL WORK AND RENDER WORK.

INSTALL NEW WELSH SLATE TO ALL RETAINED/RECONSTRUCTED ROOFS WITH ASSOCIATED GALVANISED STEEL RIDGE CAPPING, VALLEY GUTTERS AND HIP CAPPING. INSTALL LEAD FLASHINGS WHERE REQUIRED.

REMOVE EXISTING TERRACOTTA TILES AND INSTALL NEW WELSH SLATE.

REPLACE DAMAGED RAINWATER GOODS INCLUDING BOX GUTTERS, COVER FLASHINGS, EAVES GUTTERS, DOWNPIPES AND RAINWATER HEADS ALL TO FUTURE HYDRAULIC ENGINEERS SPECIFICATION.

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REPLACE DAMAGED CHIMNEY FLASHINGS AND METAL CAPPINGS.

RE-PARGE COPING OF CHIMNEY INCLUDING FLAT/MOULDED RENDER WORK DISMANTLE AND REBUILD DISLODGED BLUESTONE/CAST IRON PIER TO SOUTH-EAST CORNER BOUNDARY FENCE.

REPOINT FULL EXTENT OF BLUESTONE PLINTH.

NEW PEDESTRIAN GATE TO EAST BOUNDARY TO MATCH EXISTING.

REPAIR DAMAGED BLUESTONE BLOCKS TO BOUNDARY PLINTH.

CLEAN TESSELLATED TILES AND REPAIR/REPLACE DAMAGED TILES AND GROUT.

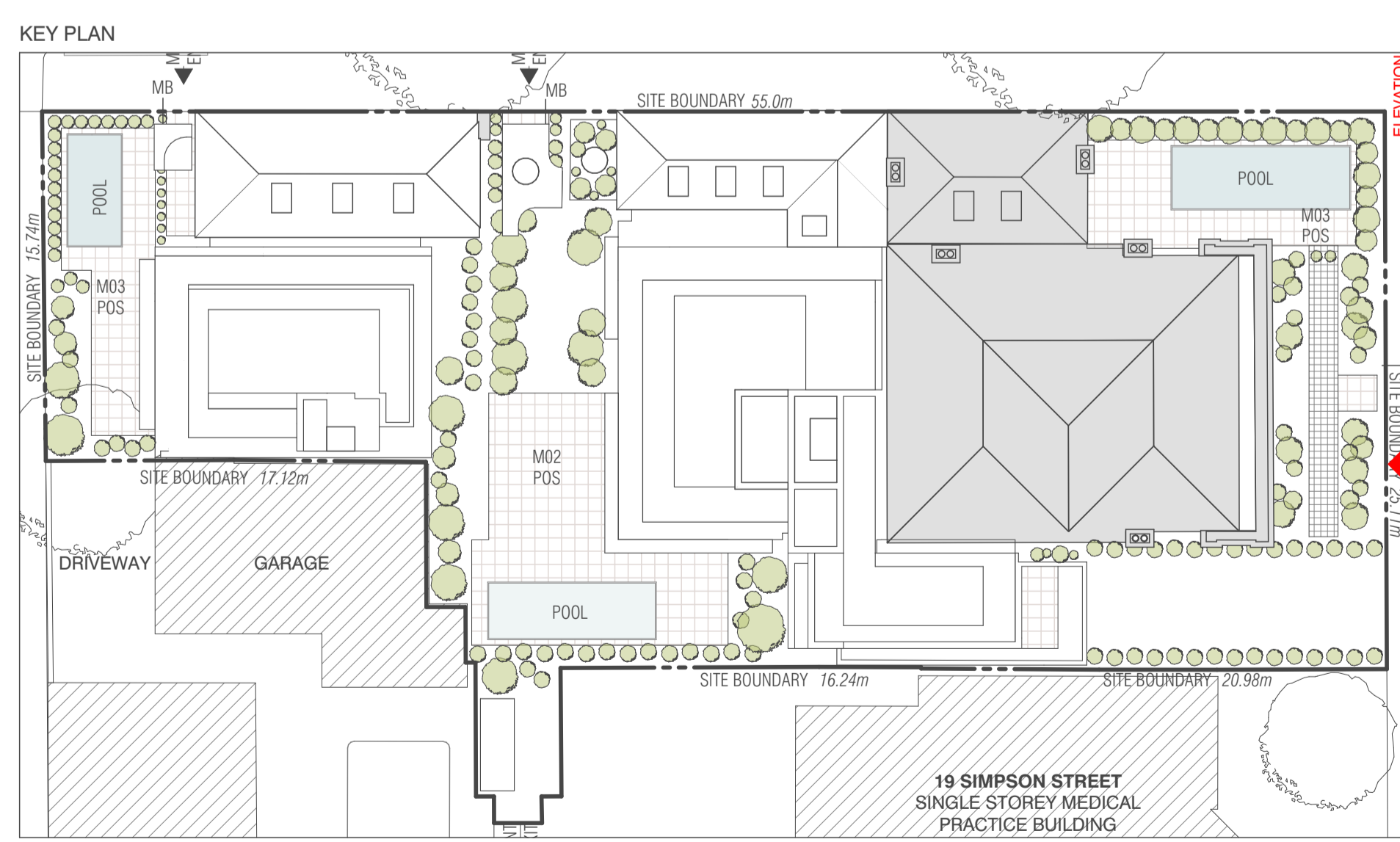
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TIMBER SPLICE REPAIRS TO EXISTING DOORS AND WINDOWS AS REQUIRED.

REPLACE EXISTING GLASS PANES WITH DOUBLE GLAZED PANES.



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REVISION		REVISION	
B	ISSUED FOR TOWN PLANNING	NZ	07.03.2023
> C	ISSUED FOR TOWN PLANNING	NZ	31.05.2023

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
BW	31.05.2023	RM	02.06.2023	21255	1:100@A1

PROJECT

SIMPSON HOUSE
29 SIMPSON STREET
East Melbourne Victoria 3002

DRAWING TITLE

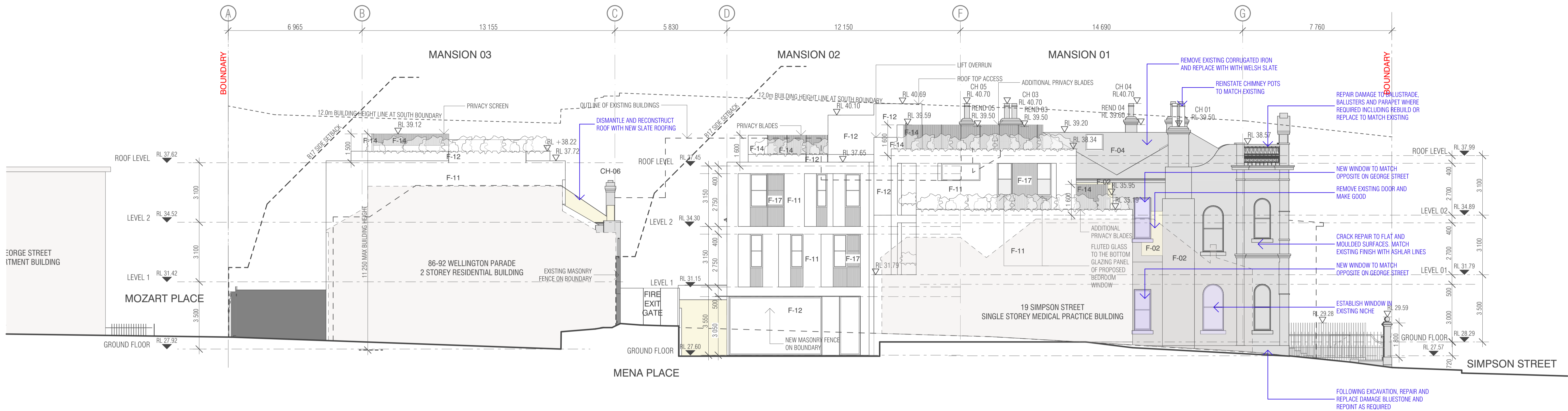
EAST ELEVATION

FENDER KATSALIDIS
WWW.FKAUSTRALIA.COM
2 RIVERSIDE QUAY, SOUTH BANK
VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8696 3888
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE

TOWN PLANNING

REV. C **DRAWING NO.** TP201



- LEGEND**
- EXISTING WALL TO BE RETAINED
 - RECONSTRUCTED WALL
 - NEW WALL
 - EXISTING FABRIC
 - NEW WORK IN EXISTING FABRIC
 - RECONSTRUCTED WORK
- FINISHES EXISTING**
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ESD NOTES:

DOUBLE GLAZING TO BE USED FOR ALL GLAZED DOORS AND WINDOWS TO HABITABLE ROOMS.

SHOWER HEAD & WC - 4 STAR WELS RATING

DISHWASHER, KITCHEN & BATHROOM TAP - 5 STAR WELS RATING

4W/m2 TYPICAL LIGHTING DENSITY

LIGHTING SENSORS FOR EXTERNAL LIGHTING

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CONSERVATION NOTES:

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REPOINT FULL EXTENT OF BLUESTONE PLINTH.

NEW PEDESTRIAN GATE TO EAST BOUNDARY TO MATCH EXISTING.

REPAIR DAMAGED BLUESTONE BLOCKS TO BOUNDARY PLINTH.

CLEAN TESSELLATED TILES AND REPAIR/REPLACE DAMAGED TILES AND GROUT.

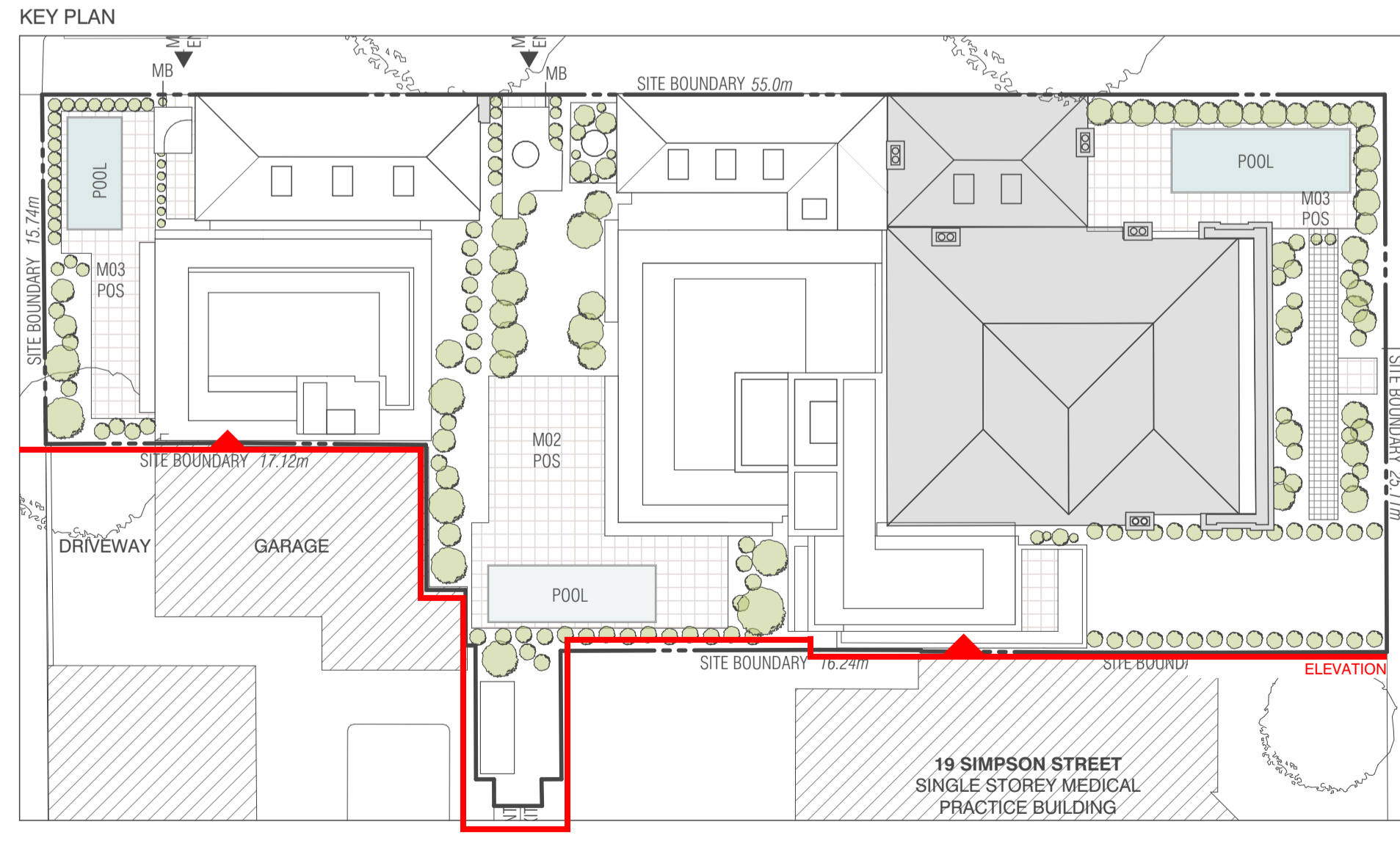
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REPLACE EXISTING GLASS PANES WITH DOUBLE GLAZED PANES.



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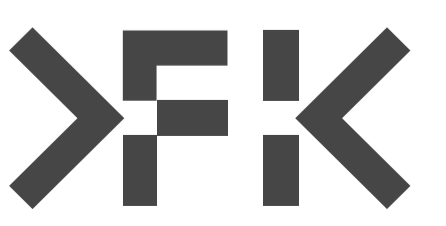
PROJECT

SIMPSON HOUSE
29 SIMPSON STREET
East Melbourne Victoria 3002

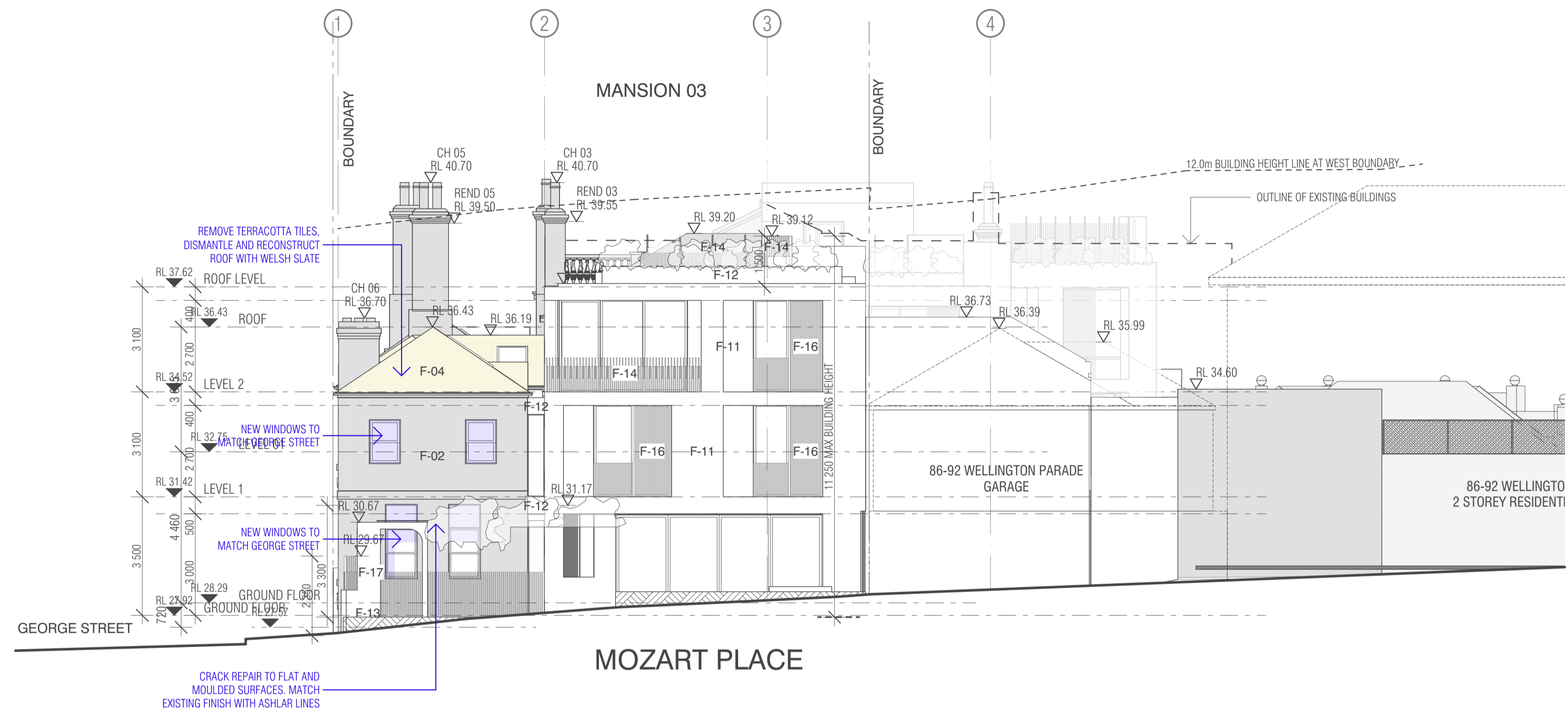
DRAWING TITLE

SOUTH ELEVATION

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WWW.FKAUSTRALIA.COM
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VICTORIA 3006 AUSTRALIA
TELEPHONE: +61 3 8696 9888
FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032



ISSUE PURPOSE	REV.	DRAWING NO.
TOWN PLANNING	C	TP202



LEGEND

	EXISTING WALL TO BE RETAINED
	RECONSTRUCTED WALL
	NEW WALL
	EXISTING FABRIC
	NEW WORK IN EXISTING FABRIC
	RECONSTRUCTED WORK

FINISHES EXISTING

- F-01 BLUESTONE
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REPOINT FULL EXTENT OF BLUESTONE PLINTH.

NEW PEDESTRIAN GATE TO EAST BOUNDARY TO MATCH EXISTING.

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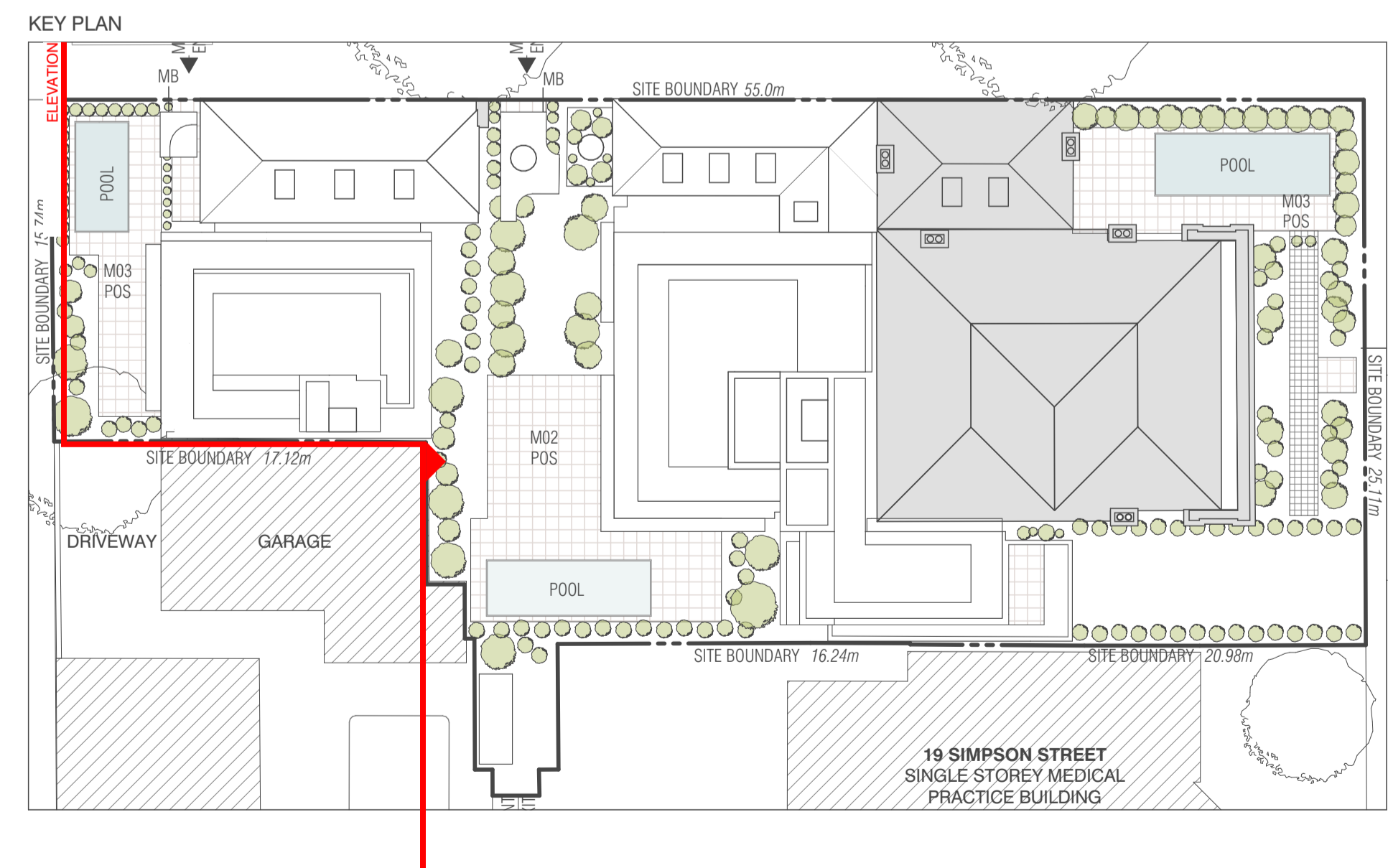
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REVISION		REVISION	
A	ISSUE FOR TOWN PLANNING	BW	06.10.2022
> B	ISSUED FOR TOWN PLANNING	NZ	07.03.2023

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DRAWN	DATE	CHECKED	PLOT DATE	JOB NO.	SCALE
BW	07.03.2023	RM	02.06.2023	21255	1:100@A1

PROJECT

SIMPSON HOUSE
29 SIMPSON STREET
East Melbourne Victoria 3002

DRAWING TITLE

WEST ELEVATION

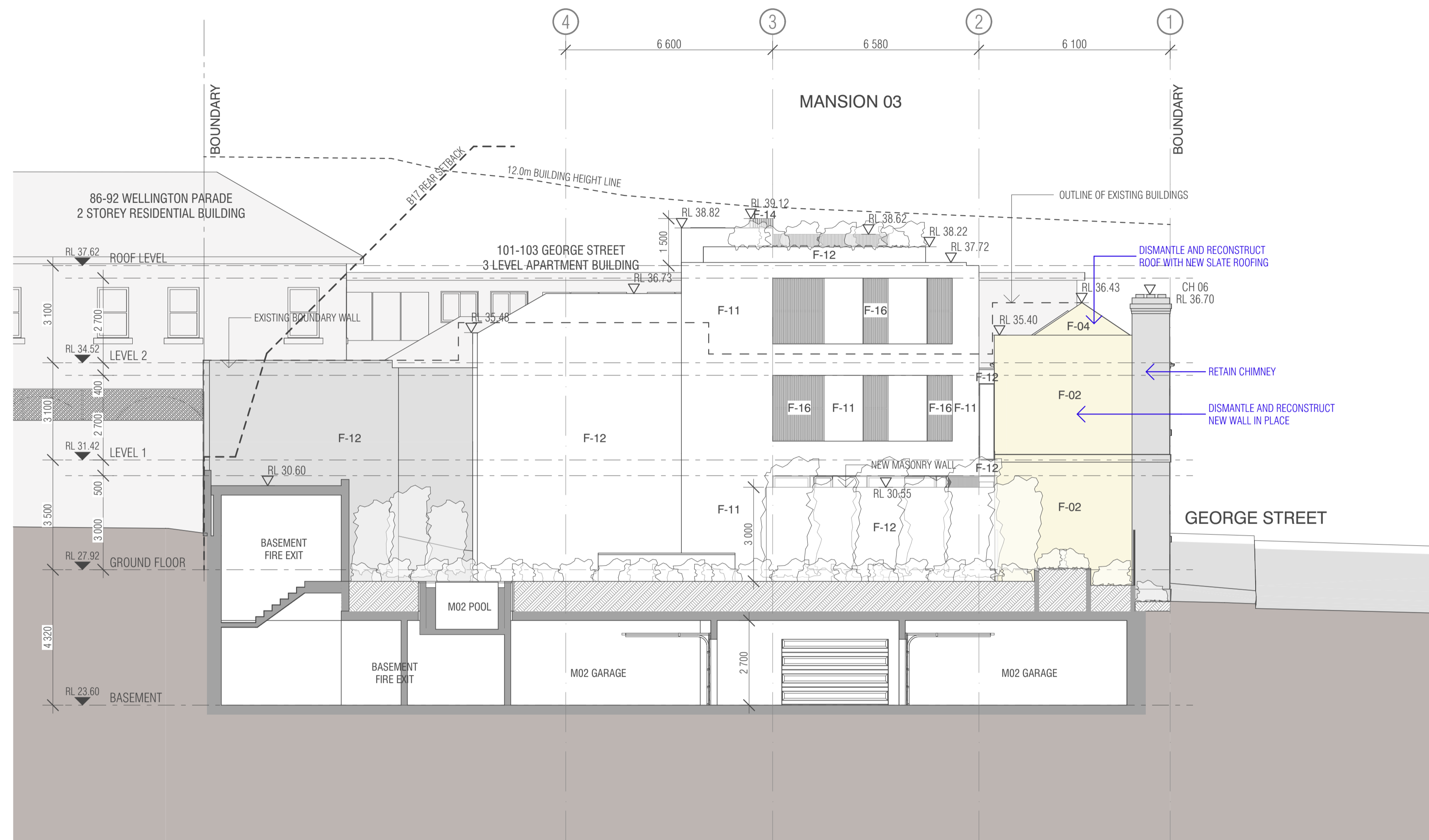
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FENDER KATSALIDIS (AUST) PTY LTD ACN 092 943 032

ISSUE PURPOSE

TOWN PLANNING



REV. B
DRAWING NO. TP203



LEGEND

	EXISTING WALL TO BE RETAINED
	RECONSTRUCTED WALL
	NEW WALL
	EXISTING FABRIC
	NEW WORK IN EXISTING FABRIC
	RECONSTRUCTED WORK

FINISHES EXISTING

- F-01 BLUESTONE
- F-02 PAINT FINISHED ASHLAR RENDER
- F-03 FACE BRICK (EXISTING)
- F-04 SLATE ROOFING
- F-05 PAINT FINISH

FINISHES PROPOSED

- F-10 STONE
- F-11 FACE BRICK
- F-12 PAINTED RENDER
- F-14 FINISHED CONCRETE
- F-14 BRONZE ALUMINIUM
- F-15 POWDERCOAT ALUMINIUM
- F-16 WASHED TIMBER SCREEN
- F-17 TIMBER SCREEN
- F-18 STONE PAVING
- F-19 PEBBLE

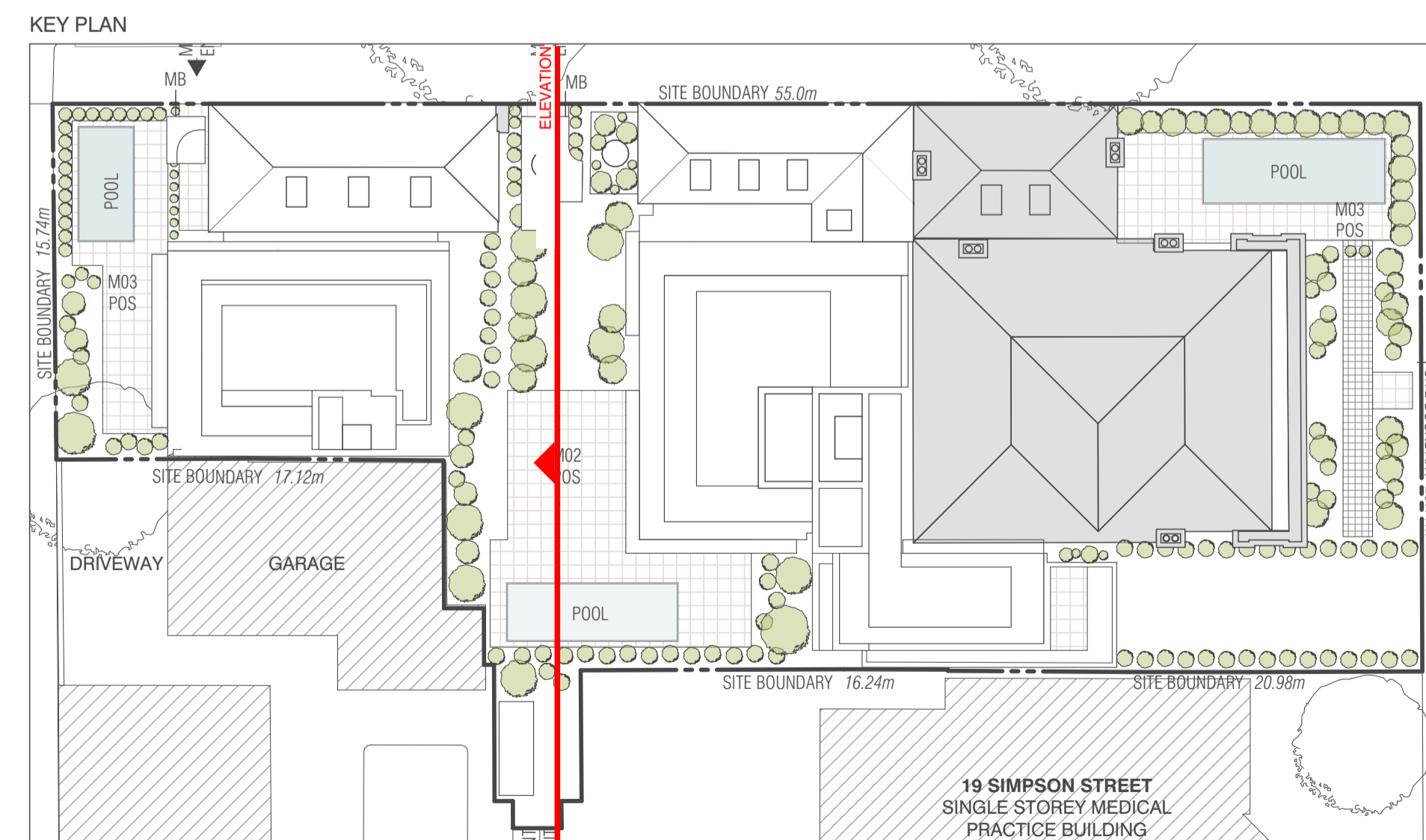
ESD NOTES:

- DOUBLE GLAZING TO BE USED FOR ALL GLAZED DOORS AND WINDOWS TO HABITABLE ROOMS.
- SHOWER HEAD & WC - 4 STAR WELS RATING
- DISHWASHER, KITCHEN & BATHROOM TAP - 5 STAR WELS RATING
- 4W/m2 TYPICAL LIGHTING DENSITY
- LIGHTING SENSORS FOR EXTERNAL LIGHTING
- NATIVE AND DROUGHT RESISTANT PLANTS TO BE USED - REFER TO LANDSCAPE PLANS

CONSERVATION NOTES:

- WASH DOWN ALL FACADES AND PARAPETS.
- PROVIDE PROTECTION TO RETAINED FABRIC.
- REMOVE REDUNDANT PIPES, SERVICES AND THE LIKE. REPAIR AND MAKE GOOD SUBSTRATE TO MATCH ADJACENT.
- IN NEW OPENINGS, CAREFULLY DISMANTLE MASONRY WALL AND JOINERY AND STORE IF TO BE REUSED.
- PREPARE AND PAINT ALL PREVIOUSLY PAINTED SURFACES INCLUDING TIMBER WORKS, METAL WORK AND RENDER WORK.
- INSTALL NEW WELSH SLATE TO ALL RETAINED/RECONSTRUCTED ROOFS WITH ASSOCIATED GALVANISED STEEL RIDGE CAPPING, VALLEY GUTTERS AND HIP CAPPING. INSTALL LEAD FLASHINGS WHERE REQUIRED.
- REMOVE EXISTING TERRACOTTA TILES AND INSTALL NEW WELSH SLATE.
- REPLACE DAMAGED RAINWATER GOODS INCLUDING BOX GUTTERS, COVER FLASHINGS, EAVES GUTTERS, DOWNPIPES AND RAINWATER HEADS ALL TO FUTURE HYDRAULIC ENGINEERS SPECIFICATION.
- REMOVE DIRT AND VEGETATION FROM RETAINED RAINWATER GOODS, REVISE FALLS AND ENSURE DRAINAGE TO STORMWATER SYSTEM.

- REPLACE DAMAGED CHIMNEY FLASHINGS AND METAL CAPPINGS.
- RE-PARGE COPING OF CHIMNEY INCLUDING FLAT/MOULDED RENDER WORK DISMANTLE AND REBUILD DISLODGED BLUESTONE/CAST IRON PIER TO SOUTH-EAST CORNER BOUNDARY FENCE.
- REPOINT FULL EXTENT OF BLUESTONE PLINTH.
- NEW PEDESTRIAN GATE TO EAST BOUNDARY TO MATCH EXISTING.
- REPAIR DAMAGED BLUESTONE BLOCKS TO BOUNDARY PLINTH.
- CLEAN TESSELLATED TILES AND REPAIR/REPLACE DAMAGED TILES AND GROUT.
- NEW TESSELLATED TILE PAVING TO MATCH EXISTING TO PROPOSED PEDESTRIAN ENTRY.
- REPAIR AND RESTORATION OF TIMBER WINDOW FRAMES AND THE INSTALLATION OF NEW TIMBER WINDOW SASHES WITH NEW DOUBLE GLAZING.
- REPLACE DAMAGED GLAZING PUTTY AND TIMBER BEADS WHERE REQUIRED.
- TIMBER SPLICE REPAIRS TO EXISTING DOORS AND WINDOWS AS REQUIRED.
- REPLACE EXISTING GLASS PANES WITH DOUBLE GLAZED PANES.



BIMcloud: fkastrbim01 - BIMcloud/21255 29 Simpson Street East Melbourne/00 BIM MODELS/SD_TP-DA/CENTRAL MODELS/21255 General_RFI

REVISION	DESCRIPTION	DATE
A	ISSUE FOR TOWN PLANNING	06.10.2022
B	ISSUED FOR TOWN PLANNING	07.03.2023

QUALITY ASSURANCE (FK IS A CERTIFIED COMPANY TO ISO 9001:2015)

THIS PROJECT IS SUBJECT TO THE FK QUALITY ASSURANCE SYSTEM

- SCHEMATIC DESIGN REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
- DESIGN DEVELOPMENT REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
- TENDER DOCUMENTATION REVIEW FOR THIS PROJECT IS YET TO BE COMPLETED.
- CONSTRUCTION DOCUMENTATION REVIEW FOR THIS DRAWING IS YET TO BE COMPLETED.

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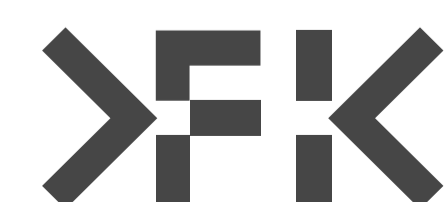
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ISSUE PURPOSE

TOWN PLANNING



REV. B
DRAWING NO. TP204